

Map 091-00-00-005.00

PROPERTY CARD

Printed 6/4/2024

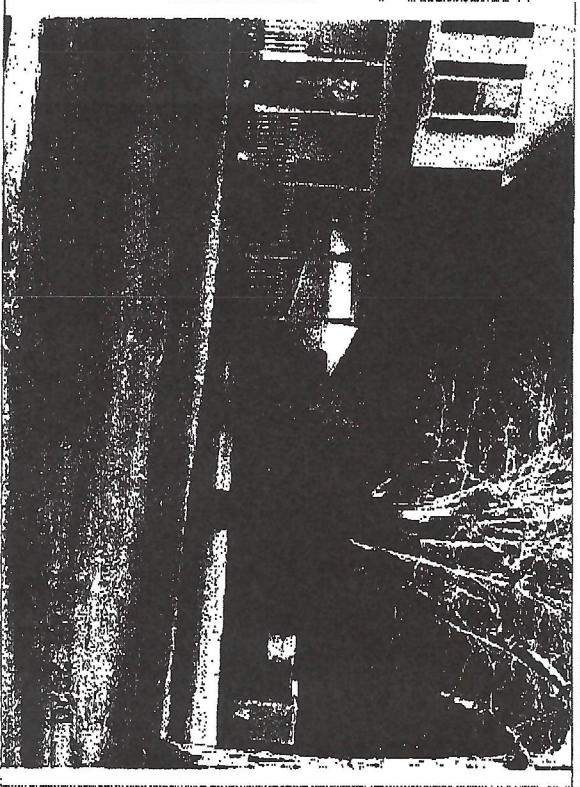
Descr 231.042 ACRES & HOUSE
 District 03-Fire & Rescue
 Account 283
 Class Farm

Owner B & S FARMS INC
 663 WALLER BRANCH RD
 LOUISA KY 41230

Localidn WALLER BRANCH RD 00663
 Building 2 SHED
 Yr Constr 0 EFAge 0 BuildingVal 10,000

MH Vint

RestType: _____
 MobType: _____
 FarmTyp Other
 ComType: _____
 ComTyp2: _____



Subdiv: _____ Block: _____ Lot: _____
 Date Checke 12/16/2004 Checked By CAR
 Lot Size: _____ LotSizeSqFt 10,000
 Frontage: 0.00 Depth: 0.00
 Acresage 231.04 AcresEstAc: _____
 Neighborhood: Typical Site Condition: Fair
 Road: Gravel Driveway: Gravel
 Topography: Level Shape: _____
 Flood Hazard: None Elect: Gas Water Sewer
 Land Value: 38,300
 Tenanthouse: 0 Bams: 0 Siles: 0 GrainBns: 0 Fencing: 0
 No Stores: 0.00 Avg Height: 0.00
 MH/Model: _____ MH/Skating: _____
 Width: 0.00 Length: 0.00 Area: 0.00
 Garage/Carport/None GarType: None Pool: _____
 Neighborhood: _____ PoolSize: 0.00
 Structure: _____ Bldg Cond: _____
 Const Type: _____ Exterior: _____
 Roof Type: _____ Constr. Quality: _____
 Basement Type: _____ Roof Cover: _____
 HeatType: _____ BasementSize: _____
 Heat Source: _____
 AirType: _____ Driveway: _____
 Sidewalks: _____
 Electricity Gas Water Sewer Solar Sprinklers FireAlarm SpecialImpvmt
 Living: 0 Dining: 0 Family: 0 Kitchen: 0 BedRm: 0 Living: 0.00
 FullBth: 0 HIBth: 0 OthRm: 0 Total: 0 Bnts: 0 Lwing: 0.00
 Stalls: 0 Basem: 0.00
 Garage: 0.00
 Porch: 0.00
 Deck: 0.00
 Office: 0.00
 Manuf: 0.00
 Asphalt: 0.00
 Concrete: 0.00

Name LYON BEULAH
 B & S FARMS INC

Deed	SaleDate	Sale Price
032-137	02/03/2023	0
222-557	09/01/1994	135,000

Year	Net Taxable	Exemption	Total Taxable	Land	Improvements	Ag Improvements	Land FCV	Improvements FCV	Ag Improvements FCV	Total FCV
2024	61,950	46,350	108,300	38,300	50,000	20,000	223,500	50,000	20,000	293,500
2023	62,750	46,350	109,100	39,100	50,000	20,000	223,500	50,000	20,000	293,500
2022	68,600	40,500	109,100	39,100	50,000	20,000	223,500	50,000	20,000	293,500

Map 091-00-00-005.00

PROPERTY CARD

Descr 231.042 ACRES & HOUSE
 District 03-Fire & Rescue
 Account 283

Printed 6/4/2024

Location WALLER BRANCH RD 00663
 Building 1 HOUSE
 Yr Const 1915 EFAge 0 BuildingVal 55,000

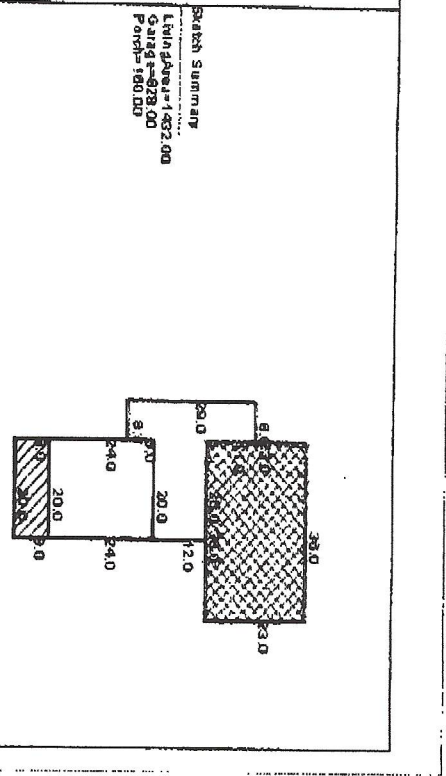
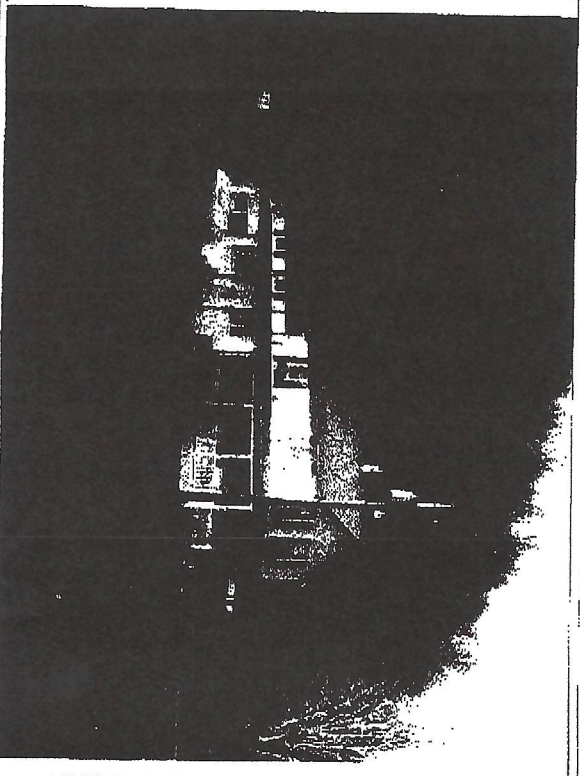
MH Val

Owner B & S FARMS INC
 663 WALLER BRANCH RD
 LOUISA KY 41230

Res Type Single Family
 Mod Type
 Farm Type
 Com Type
 Com Type 2

Date Checke 12/16/2004
 Lot Size
 Frontage 0.00
 Acreage 231.04
 Neighborhood Typical
 Road Gravel
 Topography Level
 Food Hazard None
 Tenanthouses 0
 No Storres 0.00
 MH/Manufact
 Width 0.00
 Garage/Carport Garage
 Gar/Exterior
 Neighborhood Typical
 Structure 2 Story
 Const Type
 Roof Type Gable
 Basement Type None
 Heat Type
 Air Type
 Electric Gas Water Sewer Solar Sprinklers Fire Alarm Special Impnt
 Living Dining Kitchen Bedrm 3 Bath 0
 Full Bath 1 HIBath 0 Other 0 Total 0
 Name LYON BEULAH
 B & S FARMS INC
 032-137 02/03/2023
 222-557 09/01/1994
 135,000
 Deed Sale Date Sale Price
 0
 Concrete 0.00
 Asphalt 0.00

Block
 Checked By CAR
 Lot Size Sq Ft 0.00
 Depth 0.00
 Acres Est Ac
 Site Condition Fair
 Driveway Gravel
 Shape
 Elected Gas Water Sewer Land Value 38,300
 Silos 0 Grain Bins 0 Fencing 0
 Avg Height 0.00
 MH Model
 Length 0.00
 Gar Type Attached
 Pool
 Site Cond Fair
 Exterior Frame
 Const Quality Fair/Economy
 Roof Cover Material
 Basement Size
 Heat Source
 Driveway Gravel
 Sidewalks Yes
 Drainage
 Date Assessed 1/12/2001
 Lots Actual
 Plat Book
 Source
 Zoning
 Sidewalks Yes
 Pallet/Deck None
 MH/Skirting
 Area 0.00
 Gar Size 2 Car
 Pool Size 0.00
 Bldg Cond Fair
 Foundation Post & Pier
 Tennis Court
 Roof Pitch
 Basement Finish Unfinished
 Suppl Heat
 Sidewalks Yes
 Living 1,432.00
 Basement 0.00
 Garage 828.00
 Porch 160.00
 Deck 0.00
 Office 0.00
 Manuf 0.00
 Asphalt 0.00
 Concrete 0.00



Year	Net Taxable	Exemption	Total Taxable	Land	Improvements	Ag Improvements	Land FCV	Imprmnts FCV	Ag Imprmnts FCV	Total FCV
2024	61,950	HX 46,350	108,300	38,300	50,000	20,000	223,500	50,000	20,000	293,500
2023	62,750	HX 46,350	109,100	39,100	50,000	20,000	223,500	50,000	20,000	293,500
2022	68,600	HX 40,500	109,100	39,100	50,000	20,000	223,500	50,000	20,000	293,500

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Descr 231.042 ACRES & HOUSE

District 03-Fire & Rescue

Account 283

Class Farm

Owner B & S FARMS INC

663 WALLER BRANCH RD

LOUISA KY 41230

PROPERTY CARD

Printed 6/4/2024

Location WALLER BRANCH RD 00663

Building 5 BUILDING

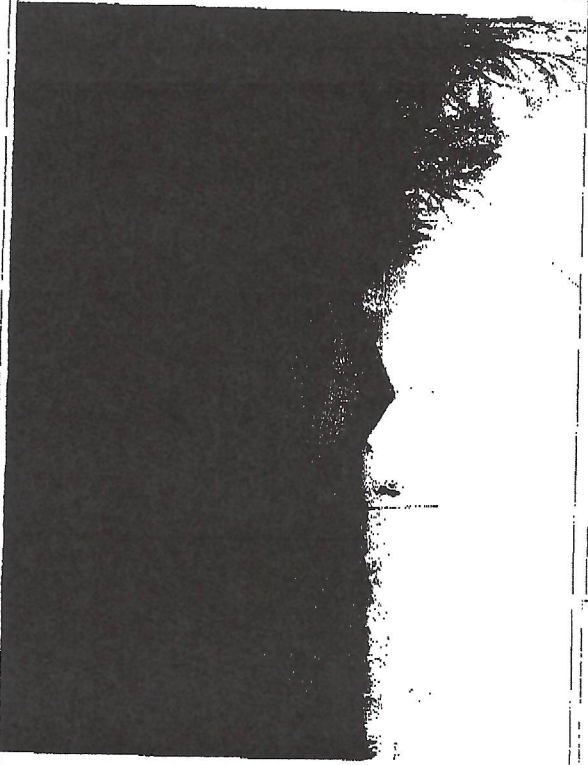
Yr Const 0 ERFAGE 0 BuildingVal 3,000

MH Val

ResType _____
 MobType _____
 FarmType Other _____
 ComType _____
 ComType2 _____

Subdiv _____ Block _____
 Date Checke 12/16/2004
 Lot Size _____
 Frontage 0.00
 Acreage 231.04
 Neighborhood Typical
 Road Gravel
 Topography Level
 Flood Hazard None
 Tenant Houses 0
 No Stories 0.00
 MH/Manufact _____
 Width 0.00
 Garage/Carport _____
 Gar/Exterior _____
 Neighborhood _____
 Structure _____
 Const Type _____
 Roof Type _____
 Basement Type _____
 Heat Type _____
 Air Type _____
 Electricity _____ Gas _____ Water _____ Sewer _____
 Living 0 Dining 0 Family 0 Kitchen 0 BedRm 0
 FullBth 0 HIBth 0 OtherRm 0 Total 0
 Bath 0
 FireAlrm _____
 SpecialImpvmt _____

Checked By CAR
 LotSizeSqFt 0.00
 Depth 0.00
 AccessEstac _____
 Site Condition Fair
 Driveway Gravel
 Shape _____
 Elect _____ Gas _____ Water _____ Sewer _____
 Sits 0
 Avg Height 0.00
 MH/Model _____
 Length 0.00
 GarType _____
 Pool _____
 Site Condi _____
 Exterior _____
 Constr. Quality _____
 Roof Cover _____
 Basement/Size _____
 Heat Source _____
 Driveway _____
 Sids _____
 Sidewalks Yes
 Drainage _____
 Land Value 38,300
 GranBlms 0
 Fencing 0
 Patio/Deck _____
 Mt-/Skirting _____
 Area 0.00
 GarSize _____
 PoolSize 0.00
 Bldg Condi _____
 Foundation _____
 Tennis Court _____
 Roof Pitch _____
 Basement/Finsh _____
 Supt/Heat _____
 Sidewalks _____



Name LYON BEULAH
 B & S FARMS INC
 Deed Sale Date Sale Price
 032-137 02/03/2023 0
 222-557 09/01/1994 135,000

Year	Net Taxable	Exemptions	Total Taxable	Land	Improvements	Ag Improvements	Land FCV	Improvements FCV	Ag Improvements FCV	Total FCV
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2022	68,600	HX 40,500	109,100	39,100	50,000	20,000	223,500	50,000	20,000	293,500

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PROPERTY CARD

Location WALLER BRANCH RD 00663
 Building 4 BARN
 Yr Const 0 EIRAge 0 BuildingVal 5,000

MH VIN

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 District 03-Fire & Rescue
 Account 283
 Owner B & S FARMS INC
 663 WALLER BRANCH RD
 LOUISA KY 41230

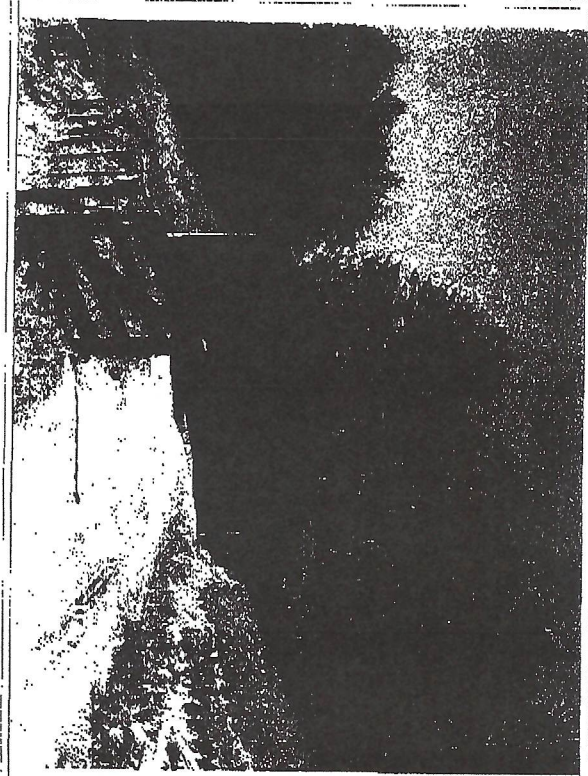
Class Farm

Printed 6/4/2024

RestType _____
 MobType _____
 FarmTyp General Barn
 ComType _____
 ComTyp2 _____

Subdiv _____ Block _____
 Date Checke 12/16/2004
 Lot Size _____
 Frontage 0.00
 Acreage 231.04
 Neighborhood Typical
 Road Gravel
 Topography Level _____
 Flood Hazard None
 Tenant Houses 0
 No Stores 0.00
 MH/Manufact _____
 Width 0.00
 Garage/Carport _____
 Garage/Exterior _____
 Neighborhood _____
 Structure _____
 Const Type _____
 Roof Type _____
 Basement Type _____
 Heat Type _____
 Air Type _____
 Electricity _____
 Gas _____
 Water _____
 Sewer _____
 Solar _____
 Sprinklers _____
 Fire Alarm _____
 Special Impmt _____

Checked By CAR
 Lot Size Sqft 10.00
 Depth 0.00
 Acres Est Lac
 Site Condition Fair
 Driveway Gravel
 Shape _____
 Eiect _____
 Gas _____
 Water _____
 Sewer _____
 Land Value 38,300
 Silos 0
 Gain Bins 0
 Fencing 0
 Date Assessed 1/12/2001
 Lot _____
 Lvl/Structural _____
 Plat Book _____
 Source _____
 Zoning _____
 Sidewalks Yes
 Drainage _____
 Patio/Deck _____
 MH/Skirting _____
 Area 0.00
 Gar Size _____
 Pool Size 0.00
 Bldg Cond _____
 Foundation _____
 Tennis Court _____
 Roof Pitch _____
 Basement Finish _____
 Supt/Heat _____
 Sidewalks _____



Living 0 Dining 0 Family 0 Kitchen 0 BedRm 0 Living 0.00
 FullBth 0 HMBth 0 Other 0 Total 0 Bath 0
 Total 0
 Deed Sale Date 02/03/2023
 Sale Price 0
 032-137
 222-557 09/01/1994
 135,000
 0
 Office 0.00
 Manuf 0.00
 Asphalt 0.00
 Concrete 0.00

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 B & S FARMS INC

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District 03-Fire & Rescue

Account 283

Owner B & S FARMS INC

663 WALLER BRANCH RD
LOUISA KY 41230

Class Farm

PROPERTY CARD

Location WALLER BRANCH RD 00663
Building 3 BUILDING
Yr Const 0 ERFAGE 0 BuildingVal 2,000

MH Vnri

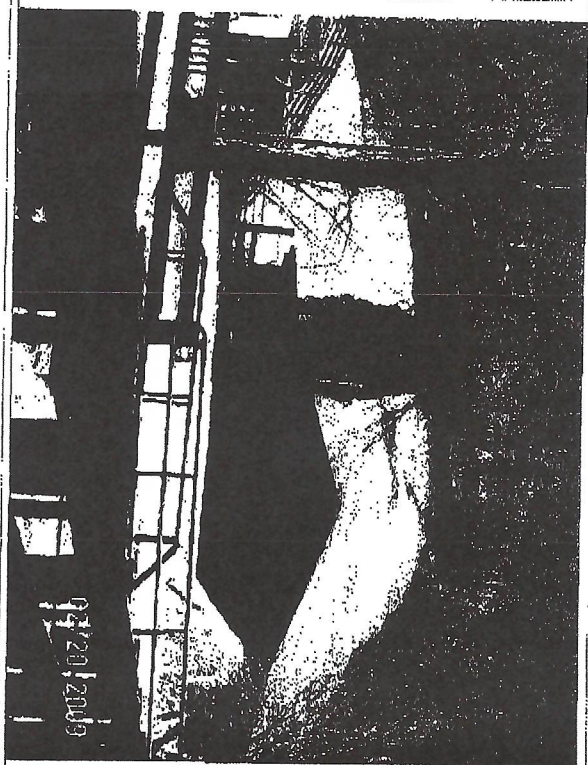
RestType _____
 MobType _____
 FarmType Other _____
 ComType _____
 ComType2 _____

Subdiv _____ Block _____
 Date Checke 2/16/2004 Checked By CAR
 Lot Size _____ LotSizeSqFt 0.00
 Frontage 0.00 Depth 0.00
 Acreage 231.04 AcresEstAc _____
 Neighborhood Typical Site Condition Fair
 Road Gravel Driveway Gravel
 Topography Level Shape _____
 Flood Hazard None
 Tenant/Houses 0 Bams 0 Silos 0
 Elect Gas Water Sewer
 Land Value 38,300 Fencing 0

MH/Manufact _____ Avg Height 0.00
 Width 0.00 MH/Model _____
 Length 0.00 Area 0.00
 Garage/Carport _____
 GarExterior _____ Pool _____
 Neighborhood _____ Site Cond _____
 Structure _____ Exterior _____
 Const Type _____ Constr. Quality _____
 Roof Type _____ Roof Cover _____
 Basement Type _____ BasementSize _____
 HeatType _____ Heat Source _____
 AirtType _____
 Electricity Gas Water Sewer
 Solar Sprinklers FireAlarm SpecialImpmnt

Living 0 Dining 0 Family 0 Kitchen 0 BedRm 0
 FullBth 0 HalfBth 0 OilRm 0 Total 0
 Bath 0
 Stalls 0
 Benis 0
 Living 0.00
 Basemnt 0.00
 Garage 0.00
 Porch 0.00
 Deck 0.00
 Office 0.00
 Manuf 0.00
 Asphalt 0.00
 Concrete 0.00

Name LYON BEULAH
 Deed Sale Date 02/03/2023
 Sale Price 0
 B & S FARMS INC 222-557 09101/1994 135,000



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