



| | | | |
|-----------------|----------------------------------|----------------|-------------------------------------|
| Last Sold | 7/20/2012 | Construction | 8" PAINTED BLOCK |
| Last Sale Price | \$506,250 | Roof | ROLL |
| Owner | JP MARCO HOLDINGS LLC | A/C | REFRIGERATION |
| Mailing | 406 9TH AVE STE 214 | Heat | Yes |
| | SAN DIEGO, California 92101-7278 | Stories | S |
| Lot | 0.22 Acres / 9792 Sqft | Property Type | (0131) SFR GRADE 010-3 URBAN SUBDIV |
| Year Built | 1961 | Parking | GARAGE |
| SqFt | 1532 | Parking Spaces | 2 |
| Class | CLASS R3, AVERAGE | Patio | SLAB |
| Added Attached | None | Pool | No |
| Added Detached | None | | |

| Subdivision - MARYVALE TERRACE 27 LOTS 10983-10985 | | | | | County Zone - MARICOPA | | City Zone - PHOENIX | | |
|--|-----------|----------------|-----|----------|------------------------|------------------------|---------------------|--------------------------|------|
| Improved Lots | 328 | Single Story | 328 | Avg Sqft | 1902 | [R-6] RESIDENTIAL WITH | 100% | [R1-6] Single Family | 100% |
| With Pool | 126 | Multiple Story | 0 | Avg Lot | 11818 | 6,000 SF MINIMUM | | Residence (Density Range | |
| Year Built | 1960-2016 | | | | | | | Of 5 To 5.5 Or 6.5 | |
| | | | | | | | | W/Bonus) | |

| Tax Assessment | | | | | | | | |
|----------------|------------|------------|------------|------------|------------|------------|------------|-------------|
| | 2016 Final | 2017 Final | 2018 Final | 2019 Final | 2020 Final | 2021 Final | 2022 Final | 2023 Prelim |
| FCV Improved | \$64,900 | \$76,400 | \$92,000 | \$102,500 | \$117,800 | \$128,800 | \$146,100 | \$192,700 |
| FCV Land | \$16,200 | \$19,100 | \$23,000 | \$25,600 | \$29,400 | \$32,200 | \$36,500 | \$48,100 |
| FCV Total | \$81,100 | \$95,500 | \$115,000 | \$128,100 | \$147,200 | \$161,000 | \$182,600 | \$240,800 |
| YoY Change % | 16% | 18% | 20% | 11% | 15% | 9% | 13% | 32% |
| Assessed FCV | \$8,110 | \$9,550 | \$11,500 | \$12,810 | \$14,720 | \$16,100 | \$18,260 | \$24,080 |
| LPV Total | \$40,748 | \$42,785 | \$44,924 | \$47,170 | \$49,529 | \$52,005 | \$54,605 | \$57,335 |
| State Aid | \$0 | \$0 | \$0 | \$0 | \$0 | \$0 | \$0 | \$0 |
| Tax Amount | \$916 | \$958 | \$990 | \$952 | \$995 | \$1,050 | \$1,037 | \$0 |

| Deed History | | | | | | | | | |
|--------------|---------------------------------|---------------------------------|-------------|-----------|-----------|------------------|----------------|-------------|-------------|
| Sale Date | Buyer | Seller | Sales Price | Down | Mortgage | Deed | Financing | Transaction | Doc # |
| 7/20/2012 | Jp Marco Holdings Llc | Arizona Equity Properties Llc | \$506,250 | \$506,250 | \$0 | Warranty | All Cash | — | 20120643179 |
| 7/20/2012 | Arizona Equity Properties Llc | Bdo Investments Llc | \$480,000 | \$480,000 | \$0 | Warranty | All Cash | — | 20120642765 |
| 12/31/2009 | Bdo Investments Llc | Rudy Ortiz | \$0 | \$0 | \$0 | Warranty | — | — | 20091199341 |
| 1/27/2009 | Rudy Ortiz | Deutsche Bank National Trust Co | \$44,625 | \$4,625 | \$40,000 | Special Warranty | Private Lender | — | 20090068123 |
| 2/20/2008 | Deutsche Bank National Trust Co | Gilberto Camacho | \$172,332 | \$0 | \$0 | Trustees | — | — | 20080147434 |
| 12/28/2005 | Gilberto Camacho | Manuel & Angelica Iribe | \$200,000 | \$10,000 | \$190,000 | Warranty | Fannie/Freddie | — | 20051957535 |
| 12/28/2005 | Manuel & Angelica Iribe | Jose & Maria T Hernandez | \$0 | \$0 | \$0 | Quit Claim | — | — | 20051957534 |
| 8/17/2005 | Manuel & Angelica Iribe | Jose & Maria T Hernandez | \$0 | \$0 | \$0 | Quit Claim | — | — | 20051183819 |
| 9/21/2001 | Jose & Maria T Hernandez | Manuel T & Silvia S Rascon | \$93,500 | \$500 | \$93,000 | Warranty | Private Lender | — | 20010872990 |
| 7/3/2001 | Manuel T & Silvia S Rascon | Ruth E Thompson | \$83,000 | \$83,000 | \$0 | Warranty | — | — | 20010596765 |
| 12/25/1958 | George E & Ruth E Thompson | | \$0 | \$0 | \$0 | — | — | — | 03661-0084 |

| Flood Zone | | |
|------------|-------------|--|
| Map Number | 04013C2180L | (Zone SubType: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD); Zone Description: Areas outside the one-percent annual chance floodplain, areas of 1% annual chance sheet flow flooding where average depths are less than 1 foot, areas of 1% annual chance |
| Map Date | 10/16/2013 | |

Panel2180L

FEMA ZoneX

stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1% annual chance flood by levees. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones.

Additional Information

Parcel

144-85-014

County

MARICOPA

MCR Number

9116

Municipality

Phoenix

Section / Township / Range

19 / 2N / 2E

Lot / Block / Tract

10672 / - / -

Census Tract / Block

109500 / 2005

Tax Area

831300

Latitude, Longitude

33.4985681786327, -112.195407702442

Property Type

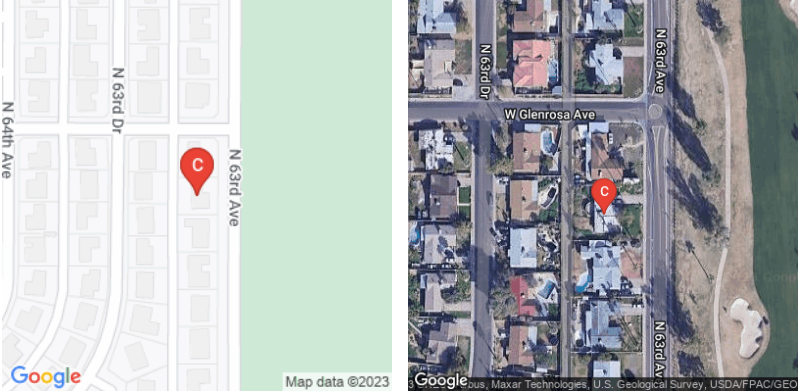
(0131) SFR GRADE 010-3 URBAN SUBDIV

Legal Class

RENTAL RESIDENTIAL

School District(S)

Phoenix Union High School District
Cartwright Elementary District



Legal Description (Abbrev)MARYVALE TERRACE 27 LOT 10672