



Home Inspection Report

Prepared for: Joseph Markowicz

4240 N 63rd Ave
Phoenix, Arizona 85033

Inspected by:
Mark Stephens
Arizona Premier Home and Property Inspections

Defective Summary

4. SYSTEM: STRUCTURAL COMPONENTS

1. Foundation: Poured Concrete slab - More than typical cracking noted at several areas around the home. A structural engineer is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



2. Wall Structure: Block, Wood Frame - (a) South: Cracking with displacement noted. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



3. Differential Movement: Cracks with displacement - See Foundation above.

Defective Summary (Continued)

5. SYSTEM: EXTERIOR

4. Exterior walls Exterior Surface Wall Cladding Materials: **Block** - (a) South: Detail wall is cracked and displaced. (b) Other Areas: Common typical minor cracking and defects noted. Plan and Prepare that the home will need typical maintenance and painting in the near future. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



5. Exterior walls Exterior Surface *Eaves, Soffits & Fascias: **Wood & Plywood** - (a) Rotting wood noted in several areas. (b) Rest of the Home: Typical wear and damage noted: Consistent with the age of the home. Plan and prepare to paint the eaves and fascia in the near future to maintain the system. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



6. Front of the home. Garage *Garage Door(s)/Openers: **Metal Fold Up w/ Chamberlin Opener** - (a) Door is damaged. (b) Opener inoperable/disconnected. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



7. Front of the home. Garage Service Doors: **Metal Door** - Missing dead bolt set. Blocked by framing. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

5. SYSTEM: EXTERIOR (Continued)

Service Doors: (continued)



8. Front of the home. Garage Fire Separation Walls & Ceilings: Drywall, Texture-Paint - Ceiling damaged. No cover on attic access. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



9. Front of the home. Garage Fire Separation Doors: Improper Door. Garage access doors are required to have a 20 minute fire rating and be self closing. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.



10. Door Bell: Hard Wired - - Inoperative at the time of my inspection. A qualified licensed contractor is recommended to inspect, evaluate all findings, make recommendations and estimate repairs.



Defective Summary (Continued)

11. Window Security Bars: Wrought iron - Pulls/locks painted closed or damaged. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.



7. SYSTEM: PLUMBING

12. Piping Materials including supports and insulation: AquaPex and Copper Piping, Copper Pipes - (a) Main: (1) Galvanized pipe were found-- this is no longer allowed without cross contamination protection (deterioration caused by rust will contaminate the potable water as well as the possibility of lead contamination). Total extent of galvanized piping in the home is not fully determined. (2) Rubber patch inline on piping. (b), Water service shut off valves under sinks and at toilets have a recommended life span of 10-12 years and are considered a maintenance item. It is recommended that these valves be updated to provide security and peace of mind with regards to the water system, as well as guarantee the valve will operate properly when needed. A qualified licensed contractor is recommended to inspect, evaluate all findings and estimate repairs.



13. Water Heating Equipment: Natural Gas Water Heater, 40 Gallons - 2019 is the estimated MFD for this unit. Water heater appears to be functioning correctly. (a) The catch pan is missing the proper piping to divert water away to an acceptable location. (b), Unit is missing burner access cover plate. This is a safety concern. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

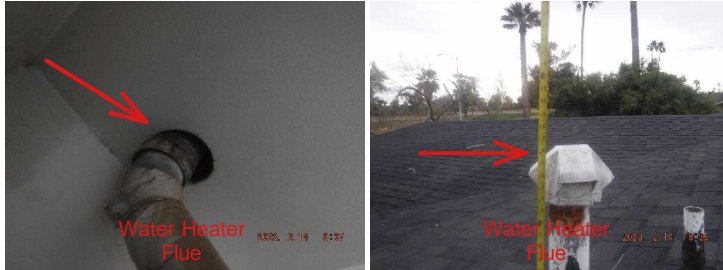


14. Flues: Single Wall Pipe at unit, Double Wall Pipe - (a) Double wall vent piping requires a minimum clearance of 1 inch from any combustible material. (b), Standards typically recommend a minimum of 24 inches clearance above the existing roofline within 10 feet for the flue cap(known as the 2/10 rule). A

Defective Summary (Continued)

Flues: (continued)

qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



8. SYSTEM: ELECTRICAL

15. Service Grounding: Not verified - While some locations show grounding, most homes of this age had no grounding at the time of construction. Grounding can easily be 'faked' and by passed. It is recommended that the grounding in the home be verified by a licensed electrician to provide proper peace of mind.
16. Main Panel Location: Exterior Wall - (a) Missing dead man cover(interior). No Labeling/Illegible Labeling of the breakers. Breakers are required to be labeled to identify each circuit. (b), No permits found for electrical updates. No final inspection label/certification found, recommend inquiring with the seller or contacting the local building department for verification. Building and Construction Permits in Phoenix can be searched at: <https://apps-secure.phoenix.gov/PDD/Search/Permits>. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs. Due to the general condition/age of the electrical system, it is recommended that a qualified electrician evaluate the system as a whole for latent defects.

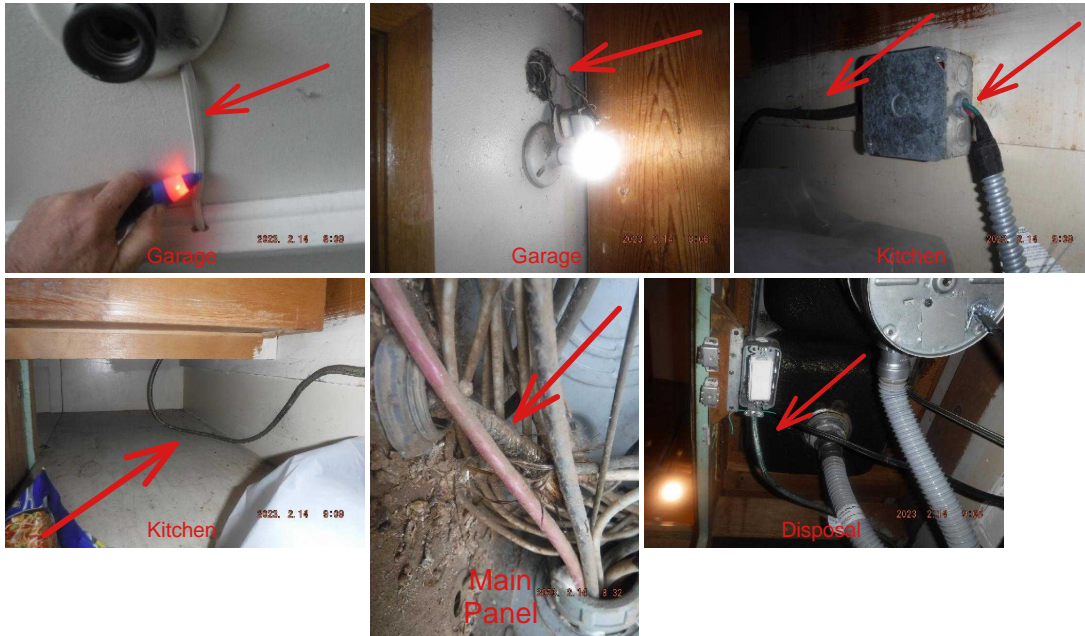


17. Branch Circuit Conductors: Copper Wire 110 VAC circuits - Non-metallic sheathed cable - (a), Exposed wiring present. All wiring needs to be covered, in the wall, or inside proper conduit. (b), Cloth coated wiring is still present in the home. This is aged and should be tested for proper viability and latent damage. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



8. SYSTEM: ELECTRICAL (Continued)

Branch Circuit Conductors: (continued)

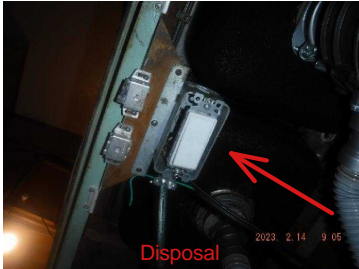


18. Ligh Fixtures [RN] Operation: Exterior & Interior - (a) Damaged/inoperable fixtures found. (b) Light bulbs are out in several locations around the home. Recommend requesting seller to install all bulbs to verify functions of the fixtures. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Defective Summary (Continued)

19. Ligh Switches[RN] Operation: Exterior & Interior - Missing cover plate. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



20. Outlets [RN] Operation: Exterior & Interior - Missing/damaged cover plates. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



9. SYSTEM: HEATING

21. Roof Heating System Air Filters: 20x25x1 - No filters in place at time of inspection. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



10. SYSTEM: CENTRAL AIR CONDITIONING

22. Roof AC System Cooling & Air Handling Equipment: Rheem - Water draining from unit may indicate a clogged condensation line. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Defective Summary (Continued)

11. SYSTEM: INTERIORS

23. All living areas and garage Living Space Windows (operation RN): Metal frame single pane windows - (a) #3 Bedroom: Broken window. (b) Other Areas: Windows show wear typical to the age of the home (loose locks, minor plastic trim damage, etc.). Dirty tracks are making the windows hard to open at several locations. Recommend cleaning. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



24. Main living area Kitchen Ventilator: Allure, Built in - Allure: Fan inoperative. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.



25. Main living area Kitchen Dishwasher: Whirlpool - Inoperative at time of inspection. Grinding noise. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



26. All Bathrooms Bathroom Shower/Surround: All Tile - Missing drain cover. Repairs noted. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

11. SYSTEM: INTERIORS (Continued)

Shower/Surround: (continued)



27. All Bathrooms Bathroom Ventilation: Electric fan and window - Fan inoperative. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



12. SYSTEM: INSULATION & VENTILATION

28. Garage Attic Access Cover / None Provided - See: Systems Exterior/Garage/Fire Separation Walls and Ceilings.

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Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of major defects.
Not Inspected	Item was not inspected because it was inaccessible, not present, or not found or Item was unable to be inspected for safety reasons or due to lack of power, gas or water, access is blocked or sealed, or the item is disconnected or shut down.
Maintenance	The component is working within the acceptable range however, a service technician is recommended to inspect, verify and or keep the item in optimal working condition by inspecting the inner working components, loads, making preventive repairs, cleaning, adjustments and correcting potential problems.
Other	A minor defect and the issue is considered mostly cosmetic and has a low importance value in the inspectors opinion - or the inspector recommends monitoring the next time the conditions lend themselves to reevaluate (for example: next time it rains).
Defective	A system or component that is unsafe or not functioning, which if not quickly addressed, will be likely to do any of the following: (1) worsen appreciably. (2) cause further damage. (3) be a serious hazard to health and/or personal safety.
Unsafe	A condition in a readily accessible, installed system or component which is judged to be a significant risk of personal injury during normal, day to day use. The risk may be due to damage, deterioration, improper installation or changes in adopted residential construction standards.
Update	The inspector recommends an update for this item. This item was considered OK when the home was built and is considered "Grandfathered in" however, the standards have changed and the buyer should consider making the changes to meet today's standards.

General Information

Property Information

Inspection Date [02/14/2023](#)
Property Address [4240 N 63rd Ave](#)
City [Phoenix](#) State [Arizona](#) Zip [85033](#)

Client Information

Client's Name [Joseph Markowicz](#)
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E-Mail jpino@pinorealestate.com

Inspection Company

Inspector Name [Mark Stephens](#)
Company Name [Arizona Premier Home and Property Inspections](#)
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E-Mail inspectionpro13@gmail.com
Buyer's Agent [Jesus Pino](#)
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E-Mail jpino@pinorealestate.com
File Number [021423M Markowicz\(AM\)](#)

General Information (Continued)

Amount Received **\$350.00**

Conditions

Others Present **No** One Property Occupied **No**

Estimated Age **1961** Entrance Faces **East**

Start Time **8:00am** End Time **11:30am**

Electric On? **Yes** Water On? **Yes** Gas/Oil On? **Not Applicable**

Temperature **47** Weather **Mostly Sunny** Soil Conditions **Dry**

Space Below Grade **None** Building Type **Single Family** Garage **Yes**

1. INTRODUCTION

Recommendations for licensed contractors to inspect items listed must be done within the sales inspection period. Licensed contractors should evaluate any system with defects or concerns listed below for latent, not visual, not found or possible defects regardless of the severity of the defects found and/or listed in this report. No validity of this report shall be assumed past final date for buyers inspection to occur. Inspector has no control of, or any responsibility for defects/damage that may occur to the home/property once it is vacated by the inspector on the date of the scheduled inspection.

This report does not represent verification of building code compliance or manufacturers installation requirements.

It is recommended for the client to contact the local building/planning departments to verify any and all permits issued/required with regards to additions, repairs or updates to the property since initial construction, prior to closing.

1. INTRODUCTION

1.1 These Standards define the practice of Home Inspection in the State of Arizona.

1.2 These Standards of Practice

A. provide inspection guidelines.

B. make public the services provided by private fee-paid inspectors.

Please read all sections of this report to gain a full understanding of all items contained within.

2. PURPOSE AND SCOPE

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2.1 Inspections performed to these Standards shall provide the client with a better understanding of the property conditions, as observed at the time of the inspection.

2.2 Inspectors shall:

A. before the inspection report is delivered, enter into a written agreement with the client or their authorized agent that includes: the purpose of the inspection. The date of the inspection. The name address and certification number of the inspector. The fee for services, a statement that the inspection is performed in accordance with these Standards. Limitations or exclusions of systems or components inspected.

B. observe readily accessible installed systems and components listed in these Standards.

C. submit a written report to the client which shall: Describe systems and components identified in sections 4 through 12 of these Standards. State which systems and components designated for inspection in these Standards have been inspected and any systems and components designated for inspection in these Standards which were present at the time of the inspection and were not inspected and a reason why they were not inspected. State any systems and components so inspected which were found to be in need of immediate major repair and any recommendations to correct, monitor or evaluate by appropriate persons.

2.3 These Standards are not intended to limit inspectors from:

A. reporting observations and conditions in addition to those required in Section 2.2.

B. excluding systems and components from the inspection if requested by the client.

Please read all sections of this report to gain a full understanding of all items contained within.

3. GENERAL LIMITATIONS AND EXCLUSIONS

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3.1 General limitations:

A. Inspections done in accordance with these Standards are visual, not technically exhaustive and will not identify concealed conditions or latent defects.

B. These Standards are applicable to buildings with four or less dwelling units and their garages or carports.

3.2 General exclusions:

A. Inspectors are NOT required to report on: Life expectancy of any component or system. The causes of the need for a major repair. The methods, materials and costs of corrections. The suitability of the property for any specialized use. Compliance or non-compliance with applicable regulatory requirements. The market value of the property or its marketability. The advisability or inadvisability of purchase of the property. Any component or system which was not observed. The presence or absence of pests such as wood damaging organisms, rodents, or insects. cosmetic items, underground items, or items not permanently installed.

B. Inspectors are NOT required to: Offer warranties or guarantees of any kind. Calculate the strength, adequacy, or efficiency of any system or component. Enter any area or perform any procedure which may damage the property or its components or be dangerous to the inspector or other persons. Operate any system or component which is shut down or otherwise inoperable. Operate any system or component which does not respond to normal operating controls. Disturb insulation, move personal items, furniture, equipment, plant life, soil, snow, ice, or debris which obstructs access or visibility. Determine the presence or absence of any suspected hazardous substance including but not limited to toxins, fungus, molds, mold spores, carcinogens, noise, contaminants in soil, water, and air. Determine the effectiveness of any system installed to control or remove suspected hazardous substances. Predict future conditions, including but not limited to failure of components. Project operating costs of components. Evaluate acoustical characteristics of any system or component.

3.3 Limitations and exclusions specific to individual systems are listed in following sections.

Please read all sections of this report to gain a full understanding of all items contained within.

4. SYSTEM: STRUCTURAL COMPONENTS

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4.1 The inspector shall observe:

A. structural components including: foundation, floors, walls, columns, ceilings, roofs.

4.2 The Inspector shall:

A. describe the type of: foundation, floor structure, wall structure, columns, ceiling structure, roof structure.

B. probe structural components where deterioration is suspected. However, probing is NOT required when probing would damage any finished surface.

C. enter under-floor crawl spaces and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected.

D. report the methods used to inspect under-floor crawl spaces and attics.

E. report signs of water penetration into the building or signs of abnormal or harmful condensation on building components.

Other notes: The composition of the soil, contaminants in the soil, Super Fund areas, the stability of the soil, the presence of expansive soil, and the condition of the soil is beyond the scope of this inspection. For more information see.

<http://azgs.az.gov/EFC.html> - <http://www.epa.gov/region9/cleanup/arizona.html>. The stability of the earth upon where the home is built is not part of this inspection. Geological maps are available on the web at the following web sites:

<http://azgs.az.gov/EFC.html> - <http://azgs.az.gov/efmaps.html>

General Guidelines: Cement products will crack - It is important to monitor the cracking that may occur naturally in a home. One should make sure that the side/edge of a quarter (\$0.25) cannot fit in a crack - this would be considered a major crack and a re inspection is recommended. Once a crack has been found it should be monitored. If a crack seems to be getting wider and or bigger a re-inspection may also be needed.

What are Earth Fissures? Earth fissures are associated with basin subsidence that accompanies extensive ground water mining.

4. SYSTEM: STRUCTURAL COMPONENTS (Continued)

Defective

Foundation: Poured Concrete slab - More than typical cracking noted at several areas around the home. A structural engineer is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Other

Floor Structure: Poured Concrete Slab - Unevenness and abnormalities in the floor level may indicate defects/concerns with foundation of the home(not visible). If concerned, it is recommended that a qualified licensed contractor examine the system for faults and advise on repairs and estimate cost.

Defective

Wall Structure: Block, Wood Frame - (a) South: Cracking with displacement noted. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Other

*Columns: Wood Posts, Block Columns - Minor damage consistent with the age of the home. Minor damage consistent with the age of the home.

Acceptable

Roof/Ceilings Structure: Truss System, Conventional Framing

Acceptable

Probe structural components where deterioration is suspected. No None found.

4. SYSTEM: STRUCTURAL COMPONENTS (Continued)

- Acceptable** Entered Attics Spaces: **Yes Except when access is obstructed, when entry could cause damage, or dangerous or adverse situations are suspected.**
- Other** The inspector was unable to inspect what percentage of the attic: **60% - Low angle roof limiting access in attic. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.**
- Other** Water Penetration or Condensation: **Evidence of moisture penetration was found - Dry moisture stains and moisture damage was visible in the attic. Does not appear to be an ongoing problem. Monitoring is the only recommendation at this time.**

Note: The following items were observed as a courtesy and to meet the inspector's expectations or at the clients request but are not required to be inspected by the standards of practice.

- Defective** Differential Movement: **Cracks with displacement - See Foundation above.**

5. SYSTEM: EXTERIOR

5. SYSTEM: EXTERIOR

5.1 The inspector shall observe:

A. wall cladding, flashings and trim. B. entryway doors and representative number of windows. C. garage door operators. D. decks, balconies, stoops, steps, areaways, and porches including railings. E. eaves, soffit and fascias. F. vegetation, grading, drainage, driveways, patios, walkways and retaining walls with respect to their effect on the condition of the building.

5.2 The inspector shall:

A. describe wall cladding materials. B. operate all entryway doors and representative number of windows including garage doors, manually or by using permanently installed controls of any garage door operator. C. report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing.

5.3 The inspector is NOT required to observe:

A. storm windows, storm doors, screening, shutters, awnings and similar seasonal accessories. B. fences. C. safety glazing. D. garage door operator remote control transmitters. E. geological conditions. F. soil conditions. G. recreational facilities. H. outbuildings other than garages and carports.

Inaccessible Areas: **No All areas accessible.**

Exterior walls Exterior Surface

- Other, Defective** Wall Cladding Materials: **Block - (a) South: Detail wall is cracked and displaced. (b) Other Areas: Common typical minor cracking and defects noted. Plan and Prepare that the home will need typical maintenance and painting in the near future. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.**



Not Inspected Wall Flashing & Trim: **None Provided**

Not Inspected Exterior Ceilings: **None**

5. SYSTEM: EXTERIOR (Continued)

Other Entryway Doors: [operation of all] All Exterior Doors - Typical damage consistent with the age of the home.

Acceptable *Security Doors: Metal Screen Security

Other, Defective *Eaves, Soffits & Fascias: Wood & Plywood - (a) Rotting wood noted in several areas. (b) Rest of the Home: Typical wear and damage noted: Consistent with the age of the home. Plan and prepare to paint the eaves and fascia in the near future to maintain the system. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Acceptable *Vegetation: Gravel/Rock, Dirt, Shrubs/Weeds

Other Grading, Drainage: Flat grading with minor slope for Drainage - (General Information) It is important to divert water away from the foundation. Water should always pool away from the foundation. A small slope away from the foundation is the recommended slope. This will minimize the risk of settling and emulsification (damage to the cement due to excessive moisture by washing away of the cohesive minerals).

Acceptable Walkways: Concrete - Common cracking.

Acceptable Patios: Concrete - Common cracking.

Acceptable Driveways: Concrete - Minor cracking and settling noted.

Front of the home. Garage

Type of Structure: Attached Garage Car Spaces: 2

Defective *Garage Door(s)/Openers: Metal Fold Up w/ Chamberlin Opener - (a) Door is damaged. (b) Opener inoperable/disconnected. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Not Inspected *Garage Doors Auto Revers Sensors: Infrared beam sensors - Not able to inspect due to operational issues. See above.

Not Inspected *Garage Doors Resistance Test: The resistance test is not performed when the door has auto reverse sensors as it can be a dangerous test.

5. SYSTEM: EXTERIOR (Continued)

Defective Service Doors: **Metal Door - Missing dead bolt set.** Blocked by framing. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Defective Fire Separation Walls & Ceilings: **Drywall, Texture-Paint - Ceiling damaged.** No cover on attic access. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Defective Fire Separation Doors: **Improper Door.** Garage access doors are required to have a 20 minute fire rating and be self closing. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.



Note: The following item(s) were observed as a courtesy and to meet the inspector's expectations or at your realtors request but is/are not required to be inspected by the standards of practice.

Defective Door Bell: **Hard Wired - Inoperative at the time of my inspection.** A qualified licensed contractor is recommended to inspect, evaluate all findings, make recommendations and estimate repairs.



5. SYSTEM: EXTERIOR (Continued)

Defective Window Security Bars: **Wrought iron - Pulls/locks painted closed or damaged. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.**



6. SYSTEM: ROOFING

6. SYSTEM: ROOFING

6.1 The inspector shall observe:

A. roof coverings. B. roof drainage systems. C. flashings. D. skylights, chimneys and roof penetrations. E. signs of leaks or abnormal condensation on building components.

6.2 The inspector shall:

A. describe the type of roof covering materials. B. report the methods used to inspect roofing.

6.3 The inspector is NOT required to:

A. walk on the roofing. B. observe attached accessories including but not limited to solar systems, antennae, and lightning arrester devices.

Other Notes: This is not a warranty or a guarantee, it is simply a good faith inspection. Factors that can adversely affect the life of the roof are: 1) Latent defects. 2) Future lack of or unprofessional repairs and or maintenance such as not cleaning the valley flashing. 3) Constant moisture on a roof. 4) Other unforeseen factors. Unless otherwise stated in writing the inspection consists of a visual inspection of the attic and of the the roof's outer surface. If your home has a flat roof we recommend you walk the surface every few months and after every rain - keep the surface clean and free from debris. These roofs are flat and high maintenance, a pro-active approach is recommended. A qualified roofing professional is recommended to inspect a flat roof surface before every rainy season. (5) Shingle and Tile roofing systems that are over 15 years old in installation should have the underlayment inspected by a qualified licensed contractor for any wear and decay. Replacement of the underlayment is considered typical maintenance for such roofing systems, plan and prepare for cost and possible inconvenience of replacement.

Main Roof Roof Surface

Method used to Inspect Roofing: **Walked the roof**

Acceptable Unable to Inspect what % of the roof: **The entire Roof was accessible**

Acceptable Roof Covering Material (type & condition): **Asphalt Shingle**

Acceptable Flashings: **Aluminum or Metal Flashing**

Acceptable Penetrations: **With Metal Roof Jacks and Caps**

Acceptable *Skylights: **Plastic Skylight(s)**

Acceptable *Signs of leaks or abnormal condensation on building components. **No None found.**

7. SYSTEM: PLUMBING

7. SYSTEM: PLUMBING

7.1 The inspector shall observe:

- A. interior water supply and distribution system including: piping materials, including supports and insulation. Fixtures and faucets, functional flow, leaks. cross connections.
- B. interior drain, waste and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation, leaks, functional drainage.
- C. hot water systems including: water heating equipment, normal operating controls, automatic safety controls, chimneys, flues and vents.
- D. fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting and supports, leaks.
- E. sump pumps.

7.2 The inspector shall:

- A. describe: water supply and distribution piping materials. drain, waste and vent piping materials. Water heating equipment.
- B. operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house.

7.3 The inspector is NOT required to:

- A. state the effectiveness of anti-siphon devices.
- B. determine whether water supply and waste disposal systems are public or private.
- C. operate automatic safety controls.
- D. operate any valve except water closet flush valves, fixture faucets and hose faucets.
- E. observe: water conditioning systems, fire and lawn sprinkler systems, on-site water supply quantity and quality. On-site waste disposal systems, foundation irrigation systems, spas, except as to functional flow and functional drainage.

Other Notes: The water is run for 15 to 20 minutes to determine if the system drains properly and if the system maintains a proper flow rate. When appropriate the wall behind the showerheads or the ceilings under the showers are checked for moisture. The drain pipes system is checked for backups during this period. This inspection cannot check for roots in the drain pipes, broken or leaking underground pipes, or small obstructions that would not be evident by simply running water down the drains. It is recommended for homes 25 years old and older to have the drain lines professionally scoped for condition and possible defects. Toilets are simply flushed empty (no paper is added).

The average life of an plumbing stop valve is 10 years (shut off valves that supply faucets and toilets) If the home is over 10 years old, the customer is encouraged to keep on hand and/or replace these valves (1/4 turn / ball type valve is the currently preferred type of valve). To maintain the valves, it is recommended to open/close the valves once every 2 months, this will help keep the valve free of sediment/calcite build-up, and working properly. Turning (opening and closing) these valves is not part of this inspection, as there is a possibility they may fail.

- Fire sprinkler systems are not part of this inspection, but may be noted as present. If applicable, an inspection of the system is recommended but is not required unless the water pressure to the home is manually adjusted.

- Water softening systems and water filtration systems are not part of this inspection, but may be noted as present. Quality of the water is not tested.

- Read more: What Is the Average Life of an Electric Water Heater? | eHow.com

http://www.ehow.com/facts_5005652_average-life-electric-water-heater.html#ixzz2McA578ik

Operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house:

7. SYSTEM: PLUMBING (Continued)

Update Exterior Fixtures: [attached to the home] Operated with no major flaws - (Recommended Update) Recommend anti-siphon/back flow valves at the exterior hose bibs to prevent cross contamination. This information is provided so that the buyer understand that the standards have changed for health or safety concerns. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Acceptable Kitchen Fixture(s): Operated with no major flaws

Acceptable Bathroom Fixtures: Operated with no major flaws

Acceptable Laundry Washer Hose Bibs: Tub Style Valves

Interior Water Supply and Distribution System including:

Defective, Update Piping Materials including supports and insulation: AquaPex and Copper Piping, Copper Pipes - (a) Main: (1) Galvanized pipe were found-- this is no longer allowed without cross contamination protection (deterioration caused by rust will contaminate the potable water as well as the possibility of lead contamination). Total extent of galvanized piping in the home is not fully determined. (2) Rubber patch inline on piping. (b), Water service shut off valves under sinks and at toilets have a recommended life span of 10-12 years and are considered a maintenance item. It is recommended that these valves be updated to provide security and peace of mind with regards to the water system, as well as guarantee the valve will operate properly when needed. A qualified licensed contractor is recommended to inspect, evaluate all findings and estimate repairs.



Acceptable Functional Flow: Adequate

Acceptable Leaks: No noticeable potable water leaks were found

Update *Cross Connections (exterior & Interior): Risk found. See "Exterior Fixtures" above.

Interior Drain, Waste & Vent System, including:

Acceptable Traps: Plastic Pipes

7. SYSTEM: PLUMBING (Continued)

- Other** Drain, waist & vent piping materials: ABS & Plastic Pipes, Galvanized or Cast Iron Pipes - Recommend homes of this age have the drain systems scoped visually to determine any flaws or blockages present. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.
- Acceptable** *Drain Leaks: No leaks were found
- Acceptable** Waste & vent piping supports & insulation: ABS Pipe, Galvanized and or Cast Iron Pipes, Asbestos/Transite
- Acceptable** Functional Drainage: No noticeable obstructions - A drain is functional when it empties in a reasonable amount of time and does not overflow when another fixture is drained simultaneously.
- Acceptable** Toilets: Manufacturer not determined
- Hot Water System Including:**
- Defective** Water Heating Equipment: Natural Gas Water Heater, 40 Gallons - 2019 is the estimated MFD for this unit. Water heater appears to be functioning correctly. (a) The catch pan is missing the proper piping to divert water away to an acceptable location. (b), Unit is missing burner access cover plate. This is a safety concern. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



- Not Inspected** Normal Operating Controls: None Provided
- Acceptable** Auto Safety Controls: TPR Valve
- Defective** Flues: Single Wall Pipe at unit, Double Wall Pipe - (a) Double wall vent piping requires a minimum clearance of 1 inch from any combustible material. (b), Standards typically recommend a minimum of 24 inches clearance above the existing roofline within 10 feet for the flue cap(known as the 2/10 rule). A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



- Other** Vents: Exterior Air - (Combustible Air) Although high and low vents are not mandatory for a garage water heater they are recommended since some people will use the garage as a storage room and hardly ever open the garage vehicle door. We recommend you open the Garage Vehicle Door at least once a day.

7. SYSTEM: PLUMBING (Continued)

*Fuel Storage and Distribution Systems including:

Sump Pumps:

Not Inspected Sump Pumps: **None Provided/None Found**

Note: The following item(s) were observed as a courtesy and to meet the inspector's expectations or at your realtors request but is/are not required to be inspected by the standards of practice.

Acceptable Water Meter: **No movement noted**

Acceptable Water Pressure: **Within the acceptable range, 40-80 PSI**

Acceptable Gas Meter: **Exterior**

Acceptable Main Gas Valve: **At gas meter**

Acceptable Exterior Accessory Gas Valves: **Roof - Capped.**

8. SYSTEM: ELECTRICAL

8. SYSTEM: ELECTRICAL

8.1 The inspector shall observe:

- A. service entrance conductors.
- B. service equipment, grounding equipment, main over-current device, main and distribution panels.
- C. amperage and voltage ratings of the service.
- D. branch circuit conductors, their over-current devices, and the compatibility of their amperage and voltages.
- E. the operation of a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage, and on its exterior walls.
- F. the polarity and grounding of all receptacles within six feet of interior plumbing fixtures and all receptacles in the garage or carport, and on the exterior of inspected structures.
- G. the operation of ground fault circuit interrupters.

8.2 The inspector shall:

- A. describe:
 1. service amperage and voltage.
 2. service entry conductor materials.
 3. service type as being overhead or underground.
 4. location of main and distribution panels.
- B. report any observed aluminum branch circuit wiring.

8.3 The inspector is NOT required to:

- A. insert any tool, probe or testing device inside the panels.
- B. test or operate any over-current device except ground fault interrupters.
- C. dismantle any electrical device or control other than to remove covers of the main and auxiliary distribution panels.
- D. observe
 1. low voltage systems.
 2. smoke detectors.
 3. telephone, security, cable TV, intercoms or other ancillary wiring that is not a part of the primary electrical distribution system.

Other Notes: Smoke detector batteries should be replaced on a yearly basis - Feb 17 is the designated day to replace your batteries. Little known fact that may save your life - most smoke detector manufacturers recommend replacing the smoke detectors every 10 years. Replace any smoke detectors that have been painted, as they may not go off in an actual fire. Upon any noted defects in the electrical system, it is highly recommended that a qualified licensed electrician examine the system as a whole for any latent/not visible defects.

8. SYSTEM: ELECTRICAL (Continued)

Acceptable Service Equipment Type: Overhead Mast

Not Inspected Service Entry Conductors Materials: Inaccessible

Defective Service Grounding: Not verified - While some locations show grounding, most homes of this age had no grounding at the time of construction. Grounding can easily be 'faked' and by passed. It is recommended that the grounding in the home be verified by a licensed electrician to provide proper peace of mind.

Acceptable Overcurrent Protection Devices: Breakers

Acceptable Main Overcurrent Device: 200 Amps

Acceptable Service Amperage & Voltage: 200 Amps Service, 240 Volts

Other, Defective Main Panel Location: Exterior Wall - (a) Missing dead man cover(interior). No Labeling/Illegible Labeling of the breakers. Breakers are required to be labeled to identify each circuit. (b), No permits found for electrical updates. No final inspection label/certification found, recommend inquiring with the seller or contacting the local building department for verification. Building and Construction Permits in Phoenix can be searched at: <https://apps-secure.phoenix.gov/PDD/Search/Permits>. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs. Due to the general condition/age of the electrical system, it is recommended that a qualified electrician evaluate the system as a whole for latent defects.



Other, Defective Branch Circuit Conductors: Copper Wire 110 VAC circuits - Non-metallic sheathed cable - (a), Exposed wiring present. All wiring needs to be covered, in the wall, or inside proper conduit. (b), Cloth coated wiring is still present in the home. This is aged and should be tested for proper viability and latent damage. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



8. SYSTEM: ELECTRICAL (Continued)

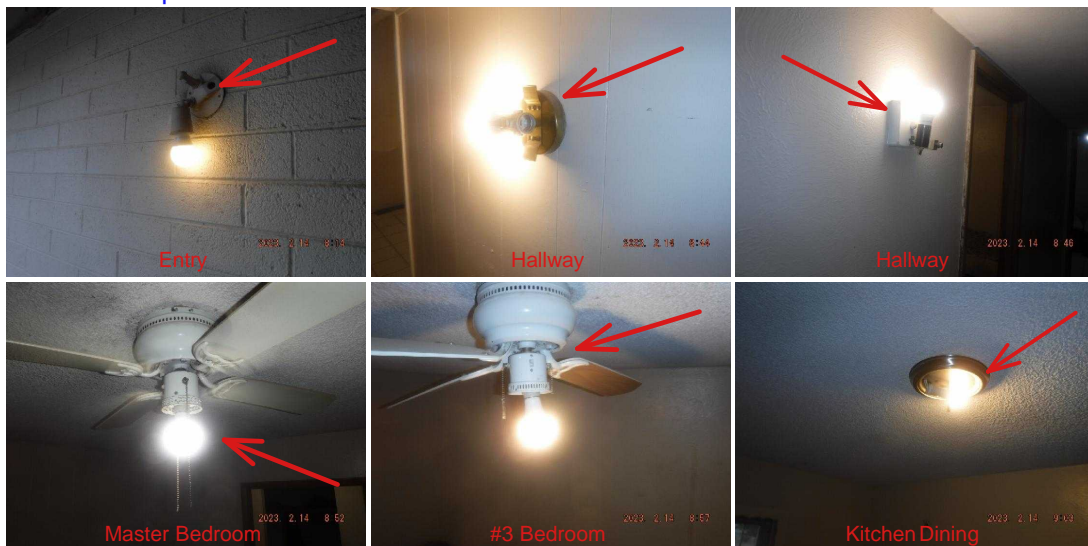
Branch Circuit Conductors: (continued)



Not Inspected *Aluminum Branch Circuit Wiring: None Found

Acceptable Compatibility of Amps & Voltages: No Over Fusing was found -

Other, Defective Ligh Fixtures [RN] Operation: Exterior & Interior - (a) Damaged/inoperable fixtures found. (b) Light bulbs are out in several locations around the home. Recommend requesting seller to install all bulbs to verify functions of the fixtures. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



8. SYSTEM: ELECTRICAL (Continued)

Ligh Fixtures [RN] Operation: (continued)



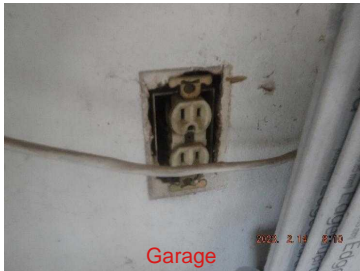
Defective

Light Switches[RN] Operation: Exterior & Interior - Missing cover plate. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Defective

Outlets [RN] Operation: Exterior & Interior - Missing/damaged cover plates. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Update

GFCI Outlets Operation: Exterior & Interior - Recommend updating to current standards at locations missing GFCI protection(Kitchen, Laundry, Baths, Exterior). A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

Acceptable

Polarity & Ground of all: Exterior & Interior - Open grounds found at the outlets. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs. Noted: Pictures may not show all locations and are for examples. Noted: Single center light on tester indicates open ground.

8. SYSTEM: ELECTRICAL (Continued)

Polarity & Ground of all: (continued)



Acceptable 240 VAC A/C Connection: [Secure Conduit](#)

Other Washer & Dryer Electrical: [110-120 VAC - See: Polarity and Grounding above.](#)

Note: The following item(s) were observed as a courtesy and to meet the inspector's expectations or at your realtors request but is/are not required to be inspected by the standards of practice.

Update Smoke Detectors: [Does not meet today's recommended standards - - \(Recommended Update\)](#)
[Consider updating the smoke detector system to meet today's recommended standards \(hardwired/bluetooth connections with battery backup and carbon monoxide protection in every bedroom and hallways leading to bedrooms\). This information is provided so that the buyer understand that the standards have changed for safety concerns. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.](#)

9. SYSTEM: HEATING

9. SYSTEM: HEATING

9.1 The inspector shall observe:

A. permanently installed heating systems including:

1. heating equipment.
2. normal operating controls.
3. automatic safety controls.
4. chimneys, flues and vents.
5. solid fuel heating devices.
6. heat distribution systems including fans, pumps, ducts and piping, with supports, dampers, insulation, air filters, registers, radiators, fan coil units, convectors.
7. the presence of an installed heat source in each room.

9.2 The inspector shall:

A. describe:

1. energy source.
2. heating equipment and distribution type.

B. operate the systems using normal operating controls.

C. open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

9. SYSTEM: HEATING (Continued)

9.3 The inspector is NOT required to:

- A. operate heating systems when weather conditions or other circumstances may cause equipment damage.
- B. operate automatic safety controls.
- D. ignite or extinguish solid fuel fires.
- E. observe:
 - 1. the interior of flues.
 - 2. fireplace insert flue connections.
 - 3. humidifiers.
 - 4. electronic air filters.
 - 5. the uniformity or adequacy of heat supply to the various rooms.

Other Notes: We recommend having the ductwork professionally cleaned anytime a home is purchased - Dirty ducts can be a contributing factor to allergy and other breathing problems. Air Flow - All registers and room doors should be kept open even when the rooms are not in use - this will save you energy, not cost you energy.

Note: An air balance or adequacy of the air flow is not part of this inspection, but will be reported when found. In the winter months even larger air flow problems, such as collapsed ducts may not be detectable because the home is only heated to 75 degrees and most days the units do not run long enough to be able to determine these problems. When buying an older home or when buying homes that have room additions, room enclosures, or has been remodeled, the problems of air distribution/flow often increase.

Roof Heating System

Acceptable Heat System Type: **Heat Pump**

Acceptable Heating Equipment: **Rheem**

Acceptable Coil/Air Handler Date: **2019**

Approx. Age or MFD: **2019** Approx. Seer Rating: **N/A**

Area Served: **Entire Home** Approx. Capacity: **Same as A/C Unit**

Acceptable Energy Source: **Electric**

Acceptable Heating System Operation: **Heating**

Acceptable Normal Operating Controls: **Thermostat**

Acceptable Automatic Safety Controls: **Breakers**

Acceptable Distribution Systems: **Metal and Insulated Flex ducts - Note: This includes fans, pumps, ducts and piping, with supports, dampers, insulation, air filters, registers, radiators, fan coil units, convectors if applicable.**

+Were the readily open-able access panels provided by the manufacturer for routine homeowner maintenance opened? **No None Provided.**

Defective Air Filters: **20x25x1 - No filters in place at time of inspection. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.**



9. SYSTEM: HEATING (Continued)

Acceptable

Is there an installed Heating and Cooling Source in Each Room? **Yes**

Other

Suspected Asbestos: **Yes** - - Asbestos type like material present at a vent pipe roof connection, however it is in satisfactory condition. If removal is desired, a lab test of the suspected asbestos material is required to determine the presence of asbestos before any work can be done. The minimum recommendation is to leave in place and undisturbed. Asbestos is not a hazard if left undisturbed. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

10. SYSTEM: CENTRAL AIR CONDITIONING

10. SYSTEM: CENTRAL AIR CONDITIONING

10.1 The inspector shall observe:

A. central air conditioning including:

1. cooling and air handling equipment.
2. normal operating controls.

B. distribution systems including:

1. fans, pumps, ducts and piping, with supports, dampers, insulation, air filters, registers, fan-coil units.
2. the presence of an installed cooling source in each room.

10.2 The inspector shall:

A. describe:

1. energy sources.
2. cooling equipment type.

B. operate the systems using normal operating controls.

C. open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

10.3 The inspector is NOT required to:

- A. operate cooling systems when weather conditions or other circumstances may cause equipment damage.
- B. observe non-central air conditioners.
- C. observe the uniformity or adequacy of cool-air supply to the various rooms.

Noted: Seasonal regular maintenance, by a qualified license HVAC contractor, for the heating /air conditioning systems is always recommended.

System filters, if required, should be changed on a monthly basis when in use.

Roof AC System

Defective

Cooling & Air Handling Equipment: **Rheem** - Water draining from unit may indicate a clogged condensation line. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Approx. Age or MFD: **2020** Approx. Seer Rating: **14**

10. SYSTEM: CENTRAL AIR CONDITIONING (Continued)

Area Served: [Entire Home](#) Approx. Capacity: [4 Tons](#)

[Not Inspected](#) A/C System Operation: [Too Cold to Test](#) - Due to the low ambient temperature outside at the time of the inspection, below 68 degrees, the A/C was not tested. Verification of proper function(temperature splits) can vary and are not reliable at low temperatures. Running the A/C at temperatures below 68 degrees can cause damage to the unit and is not recommended by the manufacturers. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

[Acceptable](#) Cooling Equipment Type: [Heat Pump](#)

[Acceptable](#) Energy Sources: [Electric](#)

[Acceptable](#) Fans & Pumps: [Operating within acceptable noise levels](#)

[Acceptable](#) Registers: [Metal Adjustable Registers](#)

Note: The following item(s) were observed as a courtesy and to meet the inspector's expectations or at your realtors request but is/are not required to be inspected by the standards of practice.

Was the uniformity or adequacy of cool air supply to the various bedrooms normal? [Yes Although adequacy cannot be determined the system is checked for uniformity. The system is considered uniform when the temperature measured at the registers is not more than 10 degrees apart.](#)

[Acceptable](#) Condensate Removal: [PVC](#)

[Acceptable](#) Exposed Ductwork: [Metal Case for Ductwork](#) - A yearly visual inspection of the vent pipes & roof and at the A/C duct & roof is recommended to prevent moisture penetration.

[Acceptable](#) Electrical Disconnect: [Pull Fuse Disconnect](#)

11. SYSTEM: INTERIORS

11. SYSTEM: INTERIORS

11.1 The inspector shall observe:

- A. walls, ceiling and floors.
- B. steps, stairways, balconies and railings.
- C. counters and a representative number of cabinets.
- D. a representative number of doors and windows.
- E. separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.
- F. sumps.

11.2 The inspector shall:

- A. operate a representative number of primary windows and interior doors.
- B. report signs of water penetration into the building or signs of abnormal or harmful condensation on building components.

11.3 The inspector is NOT required to observe:

- A. paint, wallpaper and other finish treatments on the interior walls, ceilings, and floors.
- B. carpeting.
- C. draperies, blinds or other window treatments.
- D. household appliances.
- E. recreational facilities or another dwelling unit.

Other Notes: Purely cosmetic, minor deformities, and or latent damage is beyond the scope of this inspection, but may be listed as a courtesy. Some examples of this may include, but is not limited to: small holes/damage on the walls, dirty and/or worn flooring, minor dings/dents in cabinetry, appliances, doors, and etc. If the home is occupied at the time of the inspection: furniture, items under the sinks or clothes in closets are not moved and concealed defects cannot be observed. This inspection is

11. SYSTEM: INTERIORS (Continued)

limited to readily accessible areas.

Inaccessible Areas: **Yes** Personal items present in the Home and the Garage

All living areas and garage Living Space

Other Interior Walls: **Paint-Texture, Paneling** - The home shows minor cosmetic abnormalities in many areas, typical to the age of the home. Repairs evident in several locations. The home is very dirty and in unkempt condition. Minor cosmetic damage/wear present in many areas. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

Other Interior Ceilings: **Texture-Paint** - Common cracks noted at various places of the home. Repairs evident in several locations.

Other Interior Floors: **Tile Floor** - Typical heavy wear throughout the home. Typical heavy wear throughout the home. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and make any necessary repairs.

Acceptable Counters: **Laminate**

Other Cabinets (RN): **Wood & Composite Wood materials** - Typical wear to the cabinets. Several of the cabinets need adjustment to the hinges to open/close properly. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

Acceptable Closet Shelving and Rods **Standard Shelving and Rods**

Acceptable Doors (operation RN): **Hollow Core Doors**

Other, Defective Windows (operation RN): **Metal frame single pane windows** - (a) #3 Bedroom: Broken window. (b) Other Areas: Windows show wear typical to the age of the home (loose locks, minor plastic trim damage, etc.). Dirty tracks are making the windows hard to open at several locations. Recommend cleaning. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Not Inspected Sumps: **None Found**

Were there signs of water penetration into the building or signs of abnormal or harmful condensation on building components? **No None Found.**

Main living area Kitchen

Acceptable Cooking Appliances: **Frigidaire, General Electric** - Stove top(Frig) and wall oven(GE).

11. SYSTEM: INTERIORS (Continued)

Defective Ventilator: Allure, Built in - Allure: Fan inoperative. A qualified licensed contractor is recommended to inspect this system, evaluate all findings and estimate repairs.



Not Inspected Microwave: None Provided

Acceptable Disposal: Manufacturer not determined

Defective Dishwasher: Whirlpool - Inoperative at time of inspection. Grinding noise. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Acceptable Refrigerator: Whirlpool - The refrigerator is only inspected for cooling; the other features if present are not tested.

Other Sink: Molded dual bowl sink - - Full of dishes.

All Bathrooms Bathroom

Acceptable Sink/Basin: Molded single bowls - The sinks show typical wear patterns. Consistent with the age of the home.

Acceptable Tub/Surround: Fiberglass tub w/ Tile surround

Defective Shower/Surround: All Tile - Missing drain cover. Repairs noted. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



11. SYSTEM: INTERIORS (Continued)

Defective Ventilation: Electric fan and window - Fan inoperative. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Garage Laundry Room/Area

Not Inspected Washer: None Provided

Acceptable Washer Drain: Wall mounted drain

Other Dryer: Whirlpool - May not convey. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

Acceptable Dryer Vent: Vents to the exterior - - Missing a small animal cover on the exterior. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.



Not Inspected Ventilation: None Provided

12. SYSTEM: INSULATION & VENTILATION

12. SYSTEM: INSULATION & VENTILATION

12.1 The inspector shall observe:

- A. insulation and vapor retarders in unfinished spaces.
- B. ventilation of attics and foundation areas.
- C. kitchen, bathroom, and laundry venting systems.

12.2 The inspector shall describe:

- A. insulation and vapor retarders in unfinished spaces.
- B. absence of same in unfinished space at conditioned surfaces.

12.3 The inspector is NOT required to report on:

- A. concealed insulation and vapor retarders.
- B. venting equipment which is integral with household appliances.

Note: Q) What can I do to improve my energy bills if I have an older home (more than 15 years old)? a) Add insulation to the attic and keep the attic well ventilated (dollar for dollar the best gain). The standard for this zone is R30; the recommended "Green" "R" value is R50 but many experts believe that the most cost effective "R" Value is R38.

b) The Seer rating of your A/C unit is the what usually makes the second most impact on your energy cost - the higher the Seer

12. SYSTEM: INSULATION & VENTILATION (Continued)

rating the more energy efficient the unit will operate.

<http://www.energysavers.gov/financial/70010.html>. <http://www.eere.energy.gov/topics/homes.html>, If your home has up-ducts for a swamp cooling system they are considered hot spots or areas where heat will penetrate when running your A/C.

Garage Attic	
Defective	Access Cover / None Provided - See: Systems Exterior/Garage/Fire Separation Walls and Ceilings.
Method of Inspection: Entered	
Acceptable	Are all conditioned surfaces insulated?: Yes All visible areas are insulated.
Acceptable	Insulation: Fiberglass Batting
Not Inspected	Vapor Retarders in Unfinished Spaces: Not Required, None Found
Acceptable	Ventilation of Attic: Soffit Vents
Not Inspected	Ventilation of Foundation: * None Provided N/A
Acceptable	Venting Pipes (kitchen, bathroom, & laundry venting systems): Extend to the exterior of the home
Other	Evidence of leaking: * Clear visible evidence of moisture penetration, Inaccessible - See: Systems: Structural Components/Water Penetration or Condensation.
Acceptable	
Update	Insulation Depth: 3" - 5" - This depth of insulation may have been standard at the time of construction. IECC standards adopted in 2015 recommend 10 inches(R-38) depth of insulation for Climate Zone 2 areas such as Maricopa and Pima counties in Arizona. Adding insulation to the attic areas if one of the most effective ways to help conserve energy and lower utility bills. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.
Update	Estimated "R" value. R10 or less - This depth of insulation may have been standard at the time of construction. IECC standards adopted in 2015 recommend 10 inches(R-38) depth of insulation for Climate Zone 2 areas such as Maricopa and Pima counties in Arizona. Adding insulation to the attic areas if one of the most effective ways to help conserve energy and lower utility bills. A qualified licensed contractor is recommended to inspect this system, evaluate all findings, make recommendations and estimate repairs.

Glossary

Automatic Safety Controls: Devices designated and installed to protect systems and components from high or low pressures and temperatures, electrical current, loss of water, loss of ignition, fuel leaks, fire, freezing, or other unsafe conditions.

Central Air Conditioning: A system which uses ducts to distribute cooled and/or dehumidified air to more than one room or uses pipes to distribute chilled water to heat exchangers in more than one room, and that is not plugged into an electrical convenience outlet.

Client: A customer who contracts with a home inspector for a home inspection.

Component: A readily accessible and observable aspect of a system, such as a floor, or wall, but not individual pieces such as boards or nails where many similar pieces make up the system.

Glossary (Continued)

CrossConnection: Any physical connection or arrangement between potable water and any source of contamination.

Dangerous or Adverse Situations: Situations which pose a threat of injury to the inspector, and those situations that require the use of special protective clothing or safety equipment.

Describe: Report in writing a system or component by its type, or other observed characteristics, to distinguish it from other components used for the same purpose.

Dismantle: To take apart or remove any component, device or piece of equipment that is bolted, screwed, or fastened by other means and that would not be taken apart or removed by a homeowner in the course of normal house hold maintenance.

Engineering: Any professional service or creative work requiring education, training, and experience and the application of special knowledge of the mathematical, physical and engineering sciences.

Evaluation by Appropriate Persons: Examination and analysis by a qualified professional, tradesman, or service technician beyond that provided by the home inspector.

Functional Drainage: A drain is functional when it empties in a reasonable amount of time and does not overflow when another fixture is drained simultaneously.

Functional Flow: A reasonable flow at the highest fixture in a dwelling when another fixture is operated simultaneously.

Immediate Major Repair: A major defect, which if not quickly addressed, will be likely to do any of the following:

1. worsen appreciably
2. cause further damage
3. be a serious hazard to health and/or personal safety.

Inspector: A person certified as a home Inspector by the Arizona Board of Technical Registration.

Installed: Attached or connected such that the installed item requires tools for removal.

Major Defect: A system or component that is unsafe or not functioning.

Normal Operating Controls: Homeowner operated devices such as a thermostat, wall switch or safety switch.

Observe: The act of making a visual examination of a system or component and reporting on its condition.

On-site Water Supply Quality: Water quality is based on the bacterial, chemical, mineral and solids content of the water.

On-site Water Supply Quantity: Water quantity is the rate of flow of water.

Primary Windows and Doors: Windows and/or exterior doors which are designed to remain in their respective openings year round.

Readily Accessible: Available for visual inspection without requiring moving of personal property, dismantling, destructive measures, or any action which will likely involve risk to persons or property.

Readily Openable Access Panel: A panel provided for homeowner inspection and maintenance that has removable or operable

Glossary (Continued)

fasteners or latch devices in order to be lifted off, swung open, or otherwise removed by one person, and its edges and fasteners are not painted in place. Limited to those panels within normal reach or from a 4-foot stepladder, and which are not blocked by stored items, furniture, or building components.

Recreational Facilities: Spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities.

Representative Number: For multiple identical components such as windows and electrical outlets, the inspection of one such component per room. For multiple identical exterior components, the inspection of one such component on each side of the building.

Roof Drainage Systems: Gutters, downspouts, leaders, splash blocks, and similar components used to carry water off a roof and away from a building.

Safety Glazing: Tempered glass, laminated glass, or rigid plastic.

Shut Down: A piece of equipment whose safety switch or circuit breaker is in the off position, or its fuse is missing or blown, or a system that cannot be operated by the device or control that a home owner should normally use to operate it.

Solid Fuel Heating Device: Any wood, coal, or other similar organic fuel burning device, including but not limited to fireplaces whether masonry or factory built, fireplace inserts and stoves, wood stoves (room heaters), central furnaces, and combinations of these devices.

Structural Component: A component that supports non-variable forces or weights (dead loads) and variable forces or weights (live loads). For purposes of this definition, a dead load is the fixed weight of a structure or piece of equipment, such as a roof structure on bearing walls, and a live load is a moving variable weight added to the dead load or intrinsic weight of a structure.

System: A combination of interacting or interdependent components, assembled to carry out one or more functions.

Technically Exhaustive: An inspection is technically exhaustive when it involves the use of measurements, instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions, and recommendations.

Under-floor Crawl Space: The area within the confines of the foundation and between the ground and the underside of the lowest floor structural component.

Unsafe: A condition in a readily accessible, installed system or component which is judged to be a significant risk of personal injury during normal, day to day use. The risk may be due to damage, deterioration, improper installation or changes in adopted residential construction standards

Please read all sections of this report to gain a full understanding of all items contained within.

Final Comments

Please read all sections of this report to gain a full understanding of all items contained within.



#1



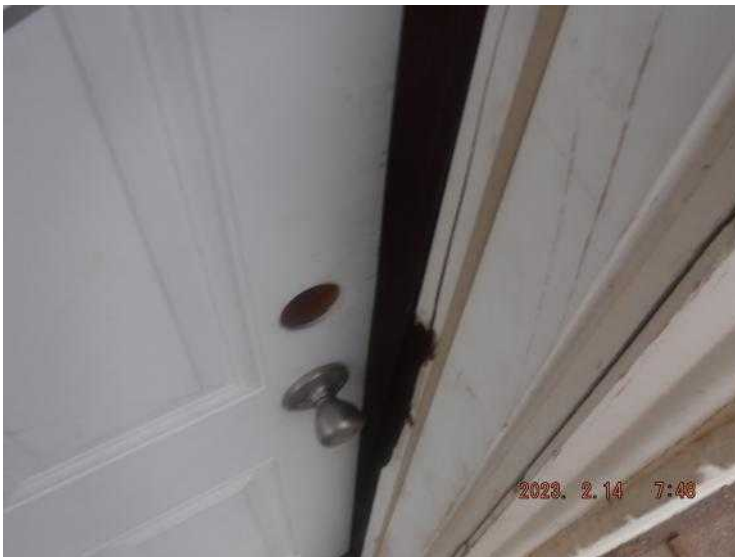
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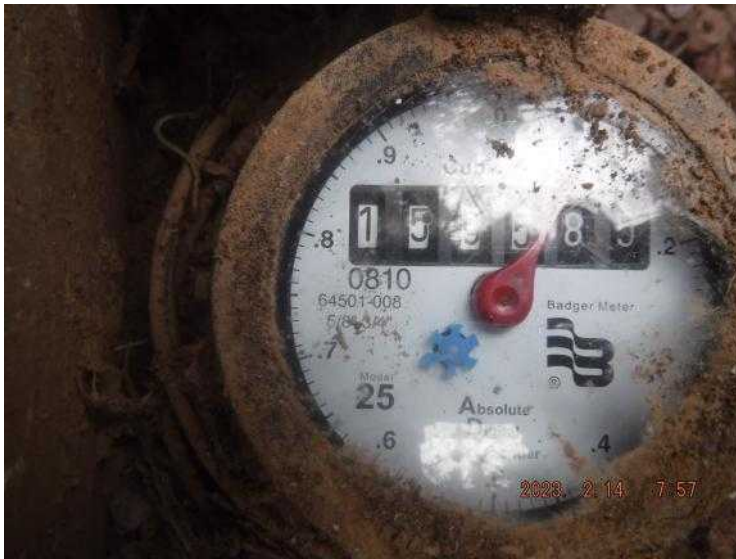
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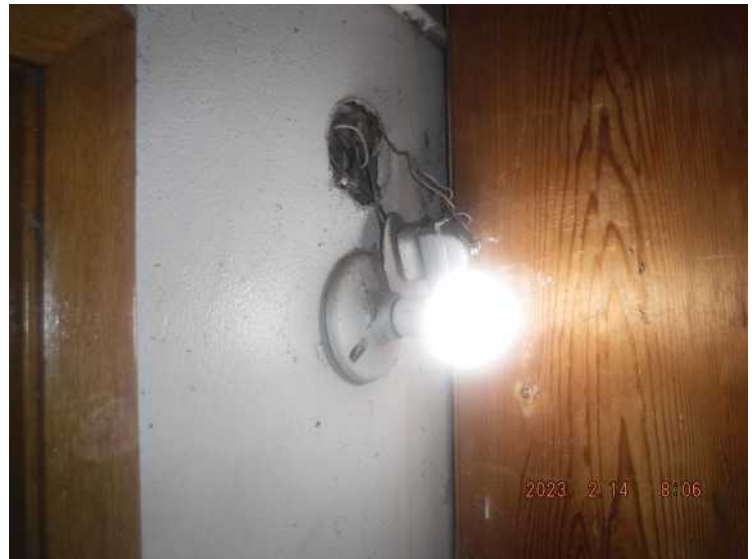
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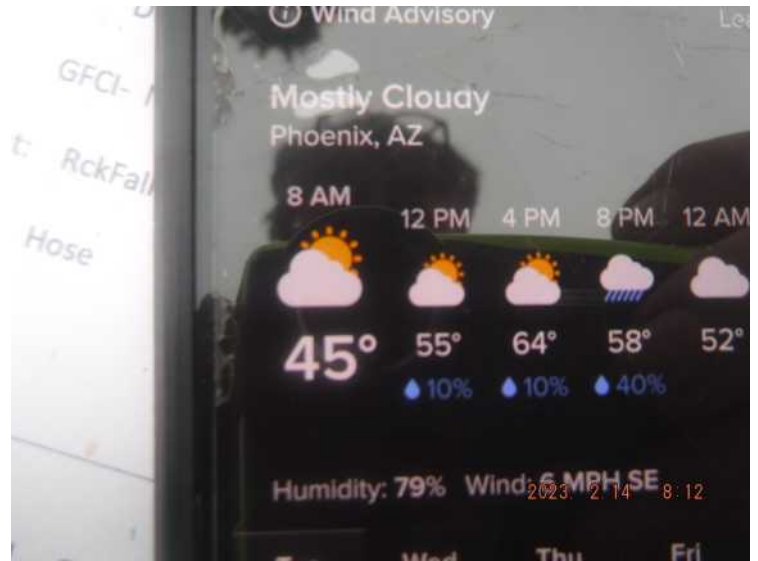
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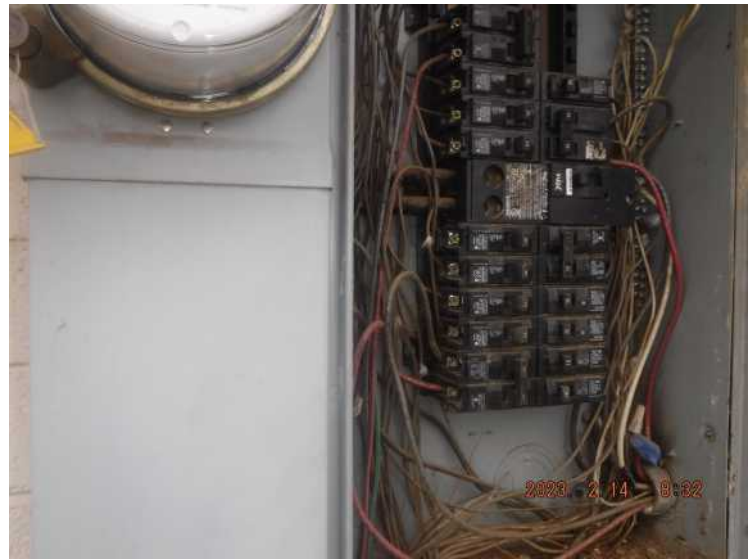
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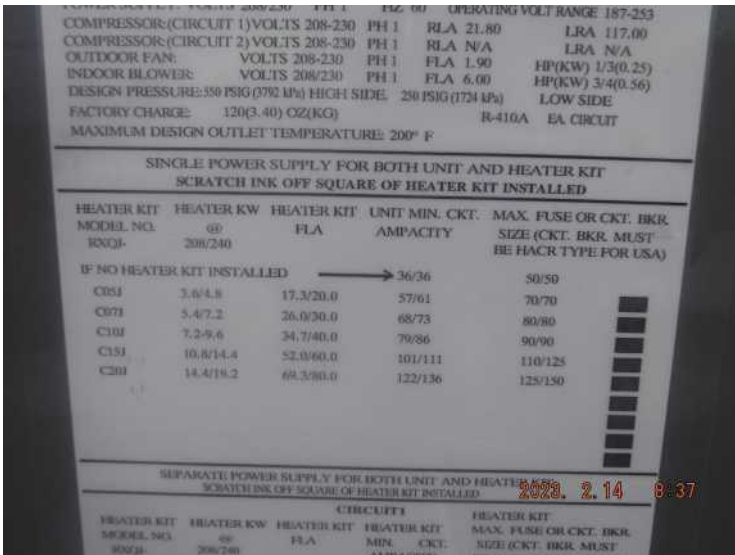
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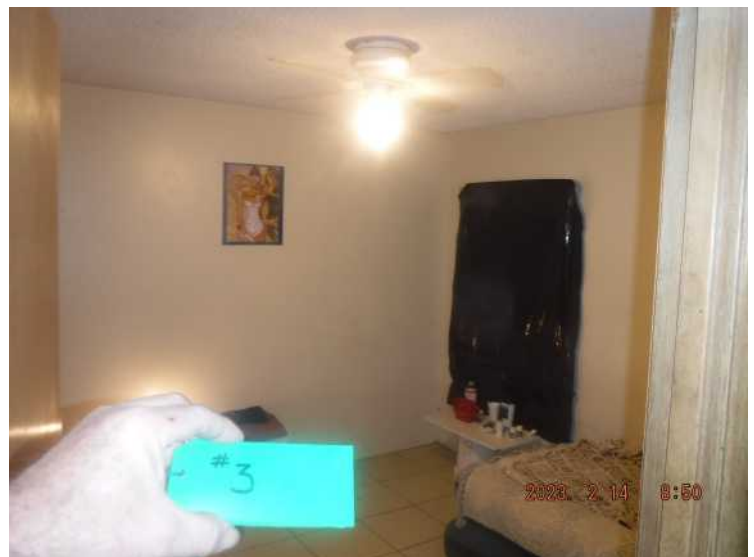
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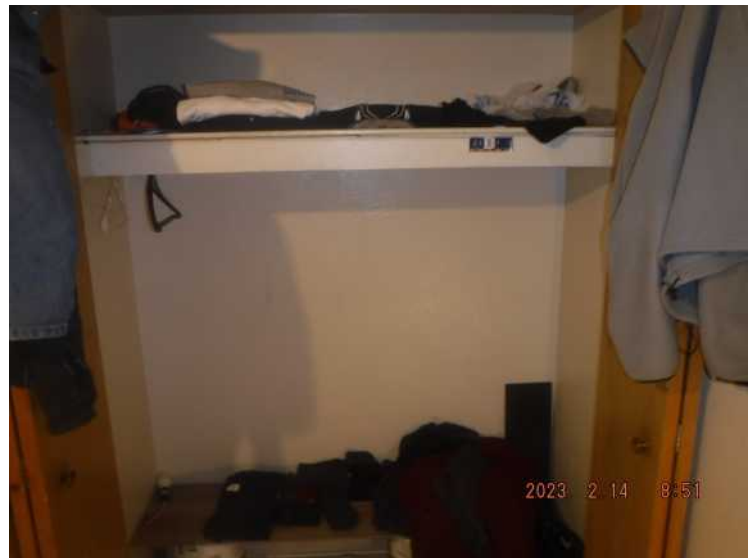
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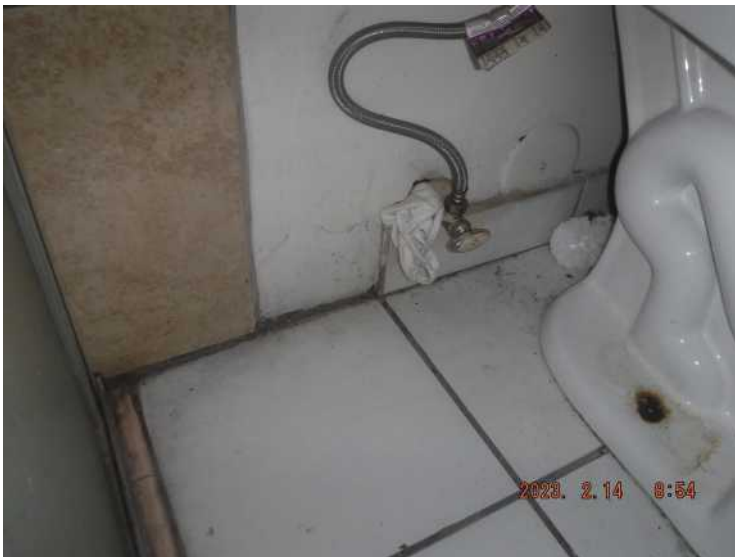
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