



# Blue Ridge Land & Auction Co., Inc

## Online Auction Bidders Agreement

Buyer agrees to immediately enter into the Real Estate Auction Purchase Contract approved by Seller, if declared the high bidder (winning bidder) by the auctioneer during the following auction:

**AUCTION FOR** – Zachary Nolen

**AUCTION LOCATION** – Online at [www.BlueRidgeLandandAuction.HiBid.com](http://www.BlueRidgeLandandAuction.HiBid.com)

**AUCTION DATE** – Tuesday, April 21<sup>st</sup>, 2026 at 4 PM

\*\*\* Bids at 4 PM extend auction 2 minutes, and each bid during extension(s) restart 2-minute extension

See Paragraph 16 that addresses the **“SOFT CLOSE”**.

**AUCTIONEER** – Matt Gallimore (Broker/Auctioneer) of Blue Ridge Land & Auction Co. located at 102 S. Locust St., Floyd, VA 24091 (540-745-2005) has contracted with “Seller” to offer to sell at public auction certain real property.

**REAL ESTATE SALESPERSON** – Darin Greear (Real Estate Salesperson) of Long & Foster – Blacksburg located at 3601 Holiday Lane, Blacksburg VA 24060 (540-320-5859) has contracted with “Seller” to offer to sell at public auction certain real property.

### **OFFERING –**

#### **Legally described as:**

+/- 8.58 acres and Improvements; Tax Map #: 13.9(0000 )000 /097E; PID #: 798; L2200/04882

#### **Address:**

15 Spruce Pine Ln., Bassett, VA 24055

- **Online Bidding Open NOW**
- **Online Bidding Closes on Tuesday, April 21<sup>st</sup>, 2026 at 4 PM (EST)**

Bidder agrees that they have read and fully understand the Online Auction Bidders Agreement and the Terms and Conditions of this auction.

**It is solely bidders’ responsibility to contact the auction company at (540) 745-2005 with any questions regarding the auction, purchase agreement, or terms & conditions, prior to placing any bids in said auction.**

## **Online Auction Terms & Conditions**

- 1) **Seller Confirmation Auction:** The property is being offered in an Online Only Auction, with all bids being subject to the Seller's approval. This means that this auction is subject to a seller's reserve, which means that if the reserve is not met, the seller is not required to sell the property.
- 2) **Bidding Registration:** Online bidder hereby agrees that they must be properly registered for the online auction. If you need assistance with registration, contact **Kaitlyn Harman at (540) 745-2005 or by email at [BlueRidgeLandandAuction@gmail.com](mailto:BlueRidgeLandandAuction@gmail.com)**. Seller(s) may at their sole discretion request additional registration requirements from any bidder unknown to them or the auction company.
- 3) **Bidding Opens/Closes:** The Online Only Auction bidding shall be opened and begin closing on the dates and times stated above, subject to the soft close feature as outlined below in (#16).
- 4) **Property Preview Dates:** It is highly recommended that all bidders personally inspect the property prior to placing any bids in the auction. Property inspections are the sole responsibility of the bidders. The property may also be inspected by scheduling an appointment with the Auction Company at (540) 745-2005 or Auctioneer Matt Gallimore at (540) 239-2585.
- 5) **No Financing Contingency:** By participating in this auction, bidders hereby agree that their bid shall **NOT** be subject to the bidder's ability to obtain financing. Financing is NOT a contingency in the purchase agreement. However, if a bidder decides to purchase property with a loan, they should make sure they are approved for a loan and that lender is capable of completing on or before closing date.
- 6) **Buyer's Premium: A Ten Percent (10%)** Buyer's Premium shall be added to the final bid price place online, which will determine the Total Contract Sales Price. Bidders hereby understand that the Buyer's Premium shall be added to the winning bid to create the Total Contract Sales Price for which they are obligated to pay for the property. **Example:** (winning online bid \$100,000 + 10% buyer's premium = total purchase price of \$110,000).
- 7) **Purchase Contract:** Winning bidder hereby agrees to enter into the Real Estate Auction Purchase Contract which has been approved by the Seller, immediately upon being declared the Successful Bidder by the Auctioneer. Upon the close of the auction the winning bidder will be forwarded via email an Auction Real Estate Sales Contract to purchase the property. A signed copy of the Auction Real Estate Sales Contract must be received by **United Country | Blue Ridge Land and Auction** no later than 24 hours from the time said Purchase Contract was sent to the winning bidder. The Auction Real Estate Sales Contract may be e-signed, hand delivered, faxed, or scanned and emailed. A sample purchase contract is available for review online prior to placing any bids in the auction.

- 8) **Earnest Money Deposit:** A **\$5,000** non-refundable deposit will be wire transferred or hand delivered in the form of certified funds to United Country | Blue Ridge Land and Auction no later than 48 hours following the close of auction. See closing agents contact information below. The balance of the purchase price will be due in full at closing.
- 9) **Closing:** Closing shall be on or before **Monday, June 22<sup>nd</sup>, 2026**. Buyers will be afforded the opportunity to close via email, mail, and wire transfer of certified funds.
- 10) **Easements:** The sale of the property is subject to any and all easements of record.
- 11) **Survey:** No survey is required to transfer title to the property and the Seller shall not provide any additional survey. If the Buyer desires a survey, it shall be at the Buyer's sole expense and shall not be a contingency or requirement in the purchase contract.
- 12) **Possession:** Possession of the property will be given upon payment in full of the purchase price and transfer of title, at closing.
- 13) **Deed:** Seller shall execute a general warranty deed conveying the property to the buyer(s).
- 14) **Taxes:** Seller shall pay any previous year's taxes (if due), and the current year's real estate taxes shall be prorated to the date of closing.
- 15) **Online Auction Technology (Disclaimer):** Under no circumstances shall Bidder have any kind of claim against United Country – Blue Ridge Land and Auction, Broker of record, or anyone else, if the Internet service fails to work correctly before or during the auction. Online bidding is subject to technology faults and issues which are outside the control of the auction company. Bidder(s) are encouraged to use the "Maximum Bid" feature on the bidding platform and lock in their maximum bid amount if they are concerned about technology failure during the auction. The SELLER and/or Auction Company reserves the right to **(pause)** the online auction bidding in the event of any internal or external technology failure, to preserve the integrity of the auction event and maintain a fair and impartial bidding environment.
- 16) **Soft Close:** If a bid is received within the last 2 minutes of the auction, the auction close time will automatically extend 2 minutes to allow other bidders an opportunity to competitively bid prior to the auction closing. This feature eliminates "snipers" and encourages fair and impartial bidding from all participants.
- 17) **Disclaimer:** All information provided is believed to be accurate; however, no liability for its accuracy, errors or omissions is assumed. All lines drawn on maps, photographs, etc. are approximate. Buyers should verify the information to their satisfaction. Information is subject to change without notice. There are no warranties either expressed or implied

pertaining to this property. Real estate is being sold "As-Is, Where-Is" with NO warranties expressed or implied. Please make all inspections and have financing arranged prior to the end of bidding.

**18) Bidding Disclosures:**

- a. The Auctioneer is allowed to bid on behalf of the Seller up to, but not beyond the Seller's reserve price (if applicable). This auction is subject to a seller's reserve and this is allowed per Virginia auction code: 18 VAC 25-21-120.
- b. The property is available for and subject to sale prior to auction.
- c. By participating in this auction, Buyers hereby acknowledge that any bid(s) placed by them is a binding agreement to purchase the property, subject to the bid being approved by Seller (if applicable).

19) **Broker Referral Fee:** A Broker Referral Fee of 2% (of the High Bid Price) is offered to VA State Licensed Real Estate Brokers or Salesperson under the following conditions: Referring Agent must contact the Auction company and submit a Broker Participation Form signed by the buyer at least 48 hours prior to auction date. Form must be submitted via email to [BlueRidgeLandandAuction@gmail.com](mailto:BlueRidgeLandandAuction@gmail.com). If these steps have not been completed, a broker referral fee will not be paid.

20) **Pre-Auction Sales:** As an agent for the Seller, the Auctioneer must present any and all bona fide written offers to the Seller, which may be created outside of the online bidding platform. Therefore, all properties are subject to pre-auction sales. Pre-auction offers must meet all off the auction terms and conditions and must be submitted to the Auctioneer on the Auction Real Estate Sales Contract, along with the required earnest deposit. Properly submitted offers will be presented to the Seller in a timely manner. Seller may accept or reject such offer at their sole and absolute discretion. When a pre-auction offer is submitted, all properly registered online bidders will be notified that "an offer" has been submitted and on which specific property, however the amount of the offer shall remain confidential. All pre-auction offers must allow a minimum of 24 hours for seller's acceptance. A Broker Referral Fee of 2% (of High Bid Price) is offered to a cooperating VA State Licensed Real Estate Broker or Salesperson on any pre-auction offers that are properly completed and submitted on the appropriate forms provided by the auction company.

**20) Auction is subject to VA Statute 55.1-1308.2.**

§ 55.1-1308.2. Notice of intent to sell.

A. A manufactured home park owner who offers or lists the park for sale to a third party shall provide written notice containing the date on which the notice is sent and the price for which the park is to be offered or listed for sale. Such notice shall be sent to the Department of Housing and Community Development, which shall make the information available on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park, in accordance with § 55.1-1202,

at least 90 days prior to accepting an offer. A manufactured home park owner shall consider any offers to purchase received during such 90-day notice period. For purposes of this section, "third party" does not include a member of the manufactured park owner's family by blood or marriage or a person or entity that owns a portion of the park at the time of the offer or listing of such manufactured home park. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after the written notice provided in this section.

B. If a manufactured home park owner receives an offer to purchase the park, acceptance of that offer shall be contingent upon the park owner sending written notice of the proposed sale and the purchase price in the real estate purchase contract at least 60 days before the closing date on such purchase contract to the Department of Housing and Community Development, which shall place the information on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park. During the 60-day notice period, the park owner shall consider additional offers to purchase the park made by an entity that provides documentation that it represents at least 25 percent of the tenants with a valid lease in the manufactured home park at the time any such offer is made, but shall not be obligated to consider additional offers after the expiration of the 60-day notice period. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after provision of the written notice required by this section. More information on the code can be found at: <https://law.lis.virginia.gov/vacode/title55.1/chapter13/section55.1-1308.2/>

C. All mobile homes located on the property are owned by the tenants, not the park owner. Therefore, mobile home titles will not be transferred to purchaser. Additionally, purchaser acknowledges that there may be limitations or regulations that prohibit the relocation / removal of mobile homes from property. Bidder acknowledges that information on manufactured homes is limited to physical exterior inspection and that the seller does not possess titles to the mobile homes. Inspection of mobile homes is only relevant to ascertain overall appeal of mobile home park.

Matt Gallimore – United Country Blue Ridge Land and Auction  
Owner, Real Estate Broker, Auctioneer, MBA  
102 South Locust Street; PO Box 234  
Floyd, VA 24091  
540-239-2585  
[Gallimore.Matt@gmail.com](mailto:Gallimore.Matt@gmail.com)

**Individual State License #'s**

Virginia Auctioneer License #	2907004059
Virginia Real Estate Broker License #	0225062681
North Carolina Auctioneer License #	10250
North Carolina Real Estate Broker License #	311692
Tennessee Auctioneer License #	7095
Tennessee Real Estate Broker License #	350819
South Carolina Auctioneer License #	4757
South Carolina Real Estate Sales Person License #	139344
Florida Real Estate Sales Person License #	SL3618959
Florida Auctioneer License #	AU5414

**Firm State License #'s**

Virginia Auction Firm License #	2906000294
Virginia Real Estate Firm License #	0226000240
North Carolina Auction Firm License #	10299
North Carolina Real Estate Firm License #	C35716
Tennessee Real Estate Firm License #	263941
South Carolina Auction Firm License #	4208

Darin Greear – Long & Foster - Blacksburg  
Real Estate Salesperson  
3601 Holiday Lane  
Blacksburg VA 24060  
540-320-5859  
[Darin.Greear@longandfoster.com](mailto:Darin.Greear@longandfoster.com)

**Individual State License #'s**

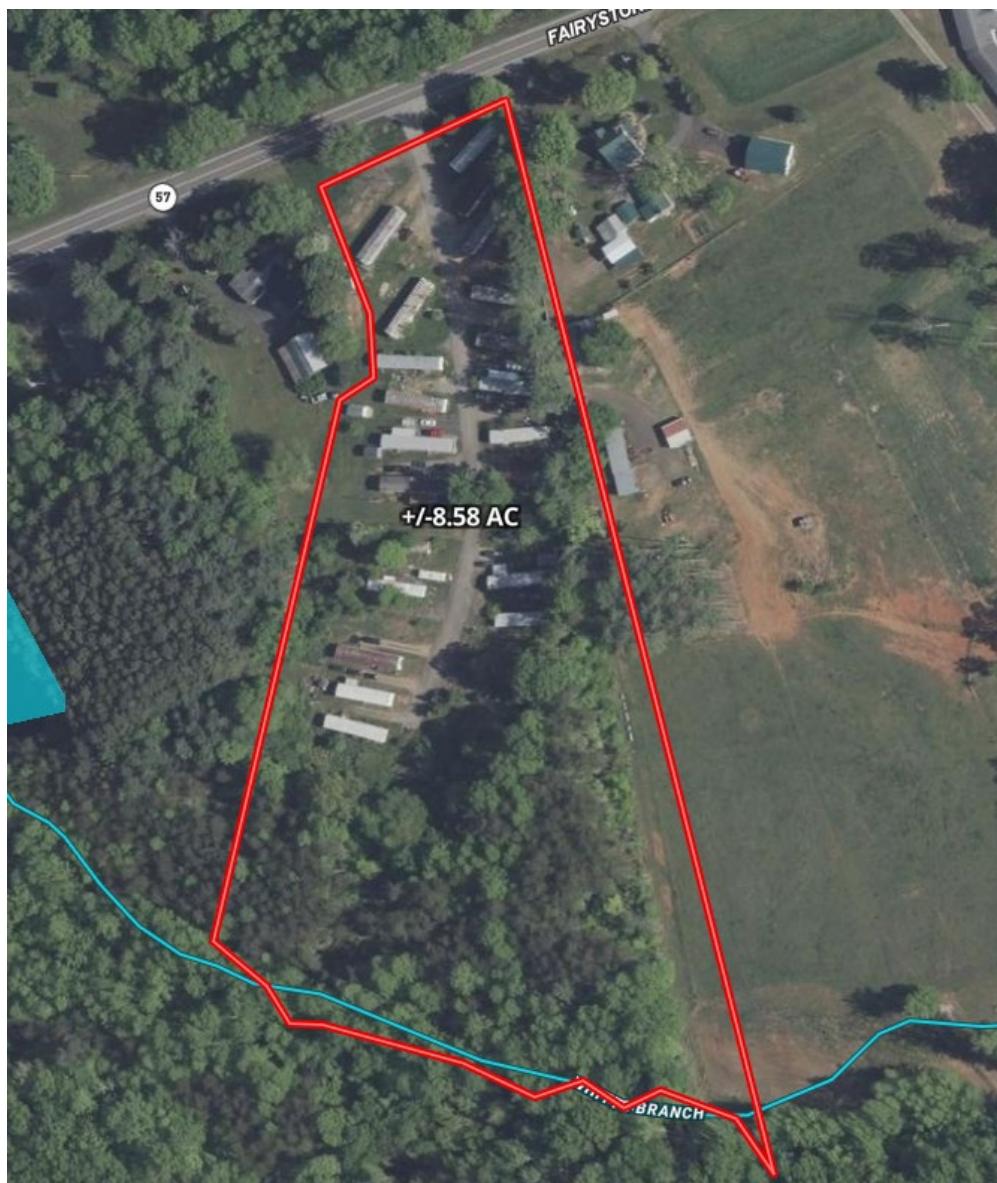
Virginia Real Estate Salesperson #	0225086131
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## Auction Services

# Aerial

Aerial is dated. Since the aerial photo was taken, 14 mobile homes have been demolished and removed. The property has been drastically cleaned up since.



\*\* Aerial and contour map show approximate boundaries.  
Use for illustration purposes only. Refer to survey for  
exact boundaries. \*\*



## Auction Services

# Contour

Contour is dated. Since the contour photo was taken, 14 mobile homes have been demolished and removed. The property has been drastically cleaned up since.

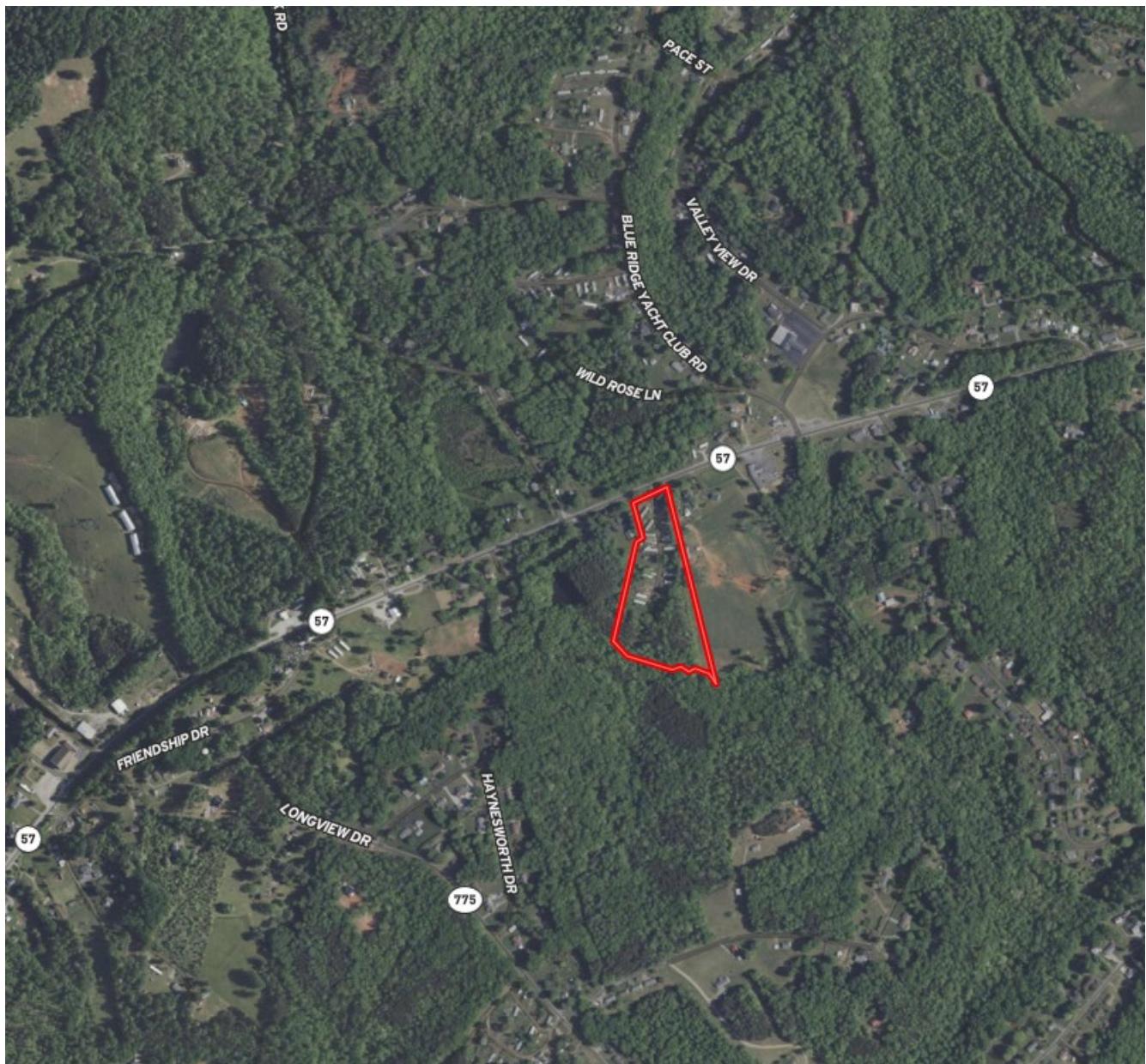


\*\* Aerial and contour map show approximate boundaries.  
Use for illustration purposes only. Refer to survey for  
exact boundaries. \*\*



# Neighborhood

15 Spruce Pine Ln.  
Bassett, VA 24055

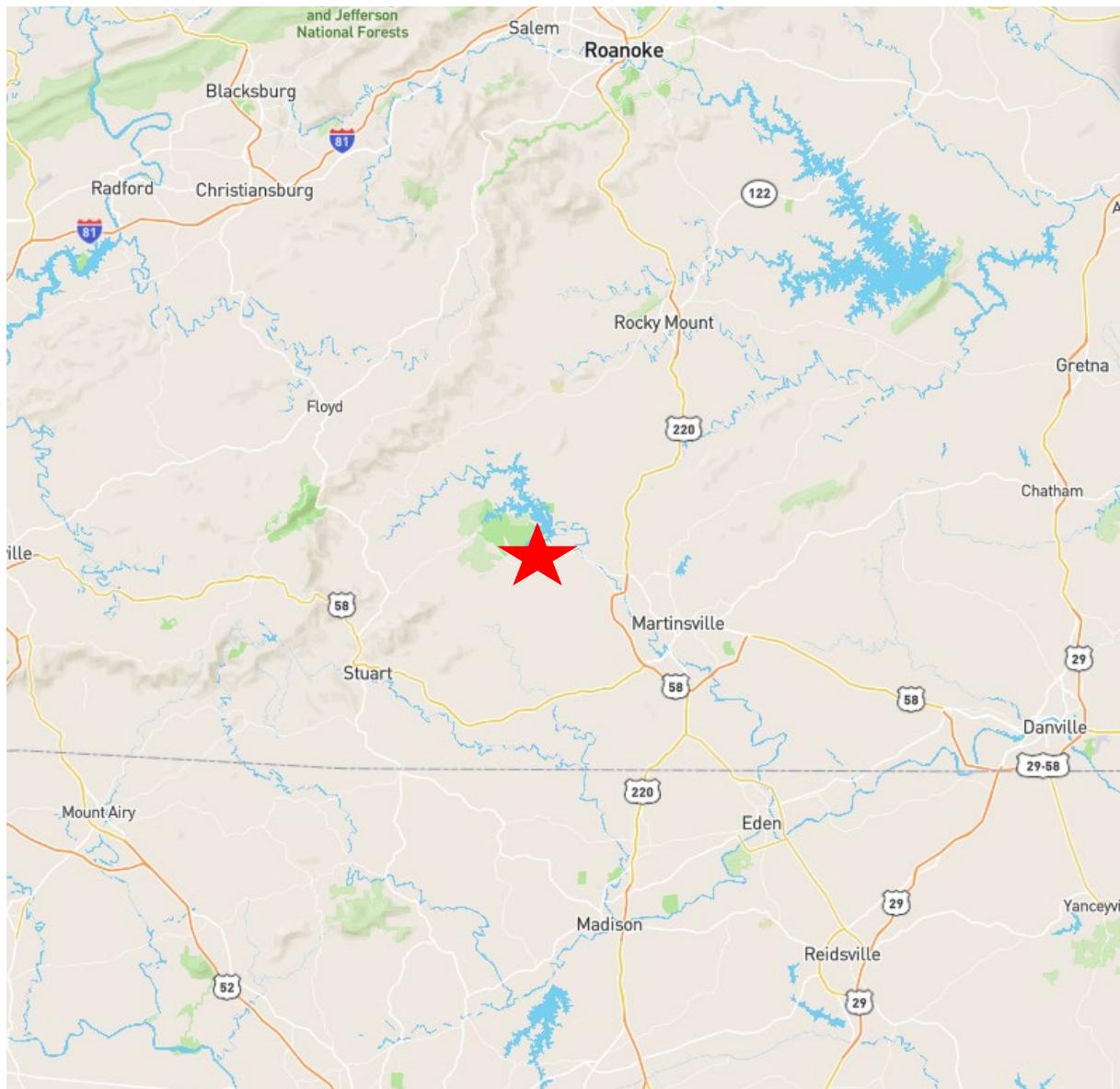




## Auction Services

# Location

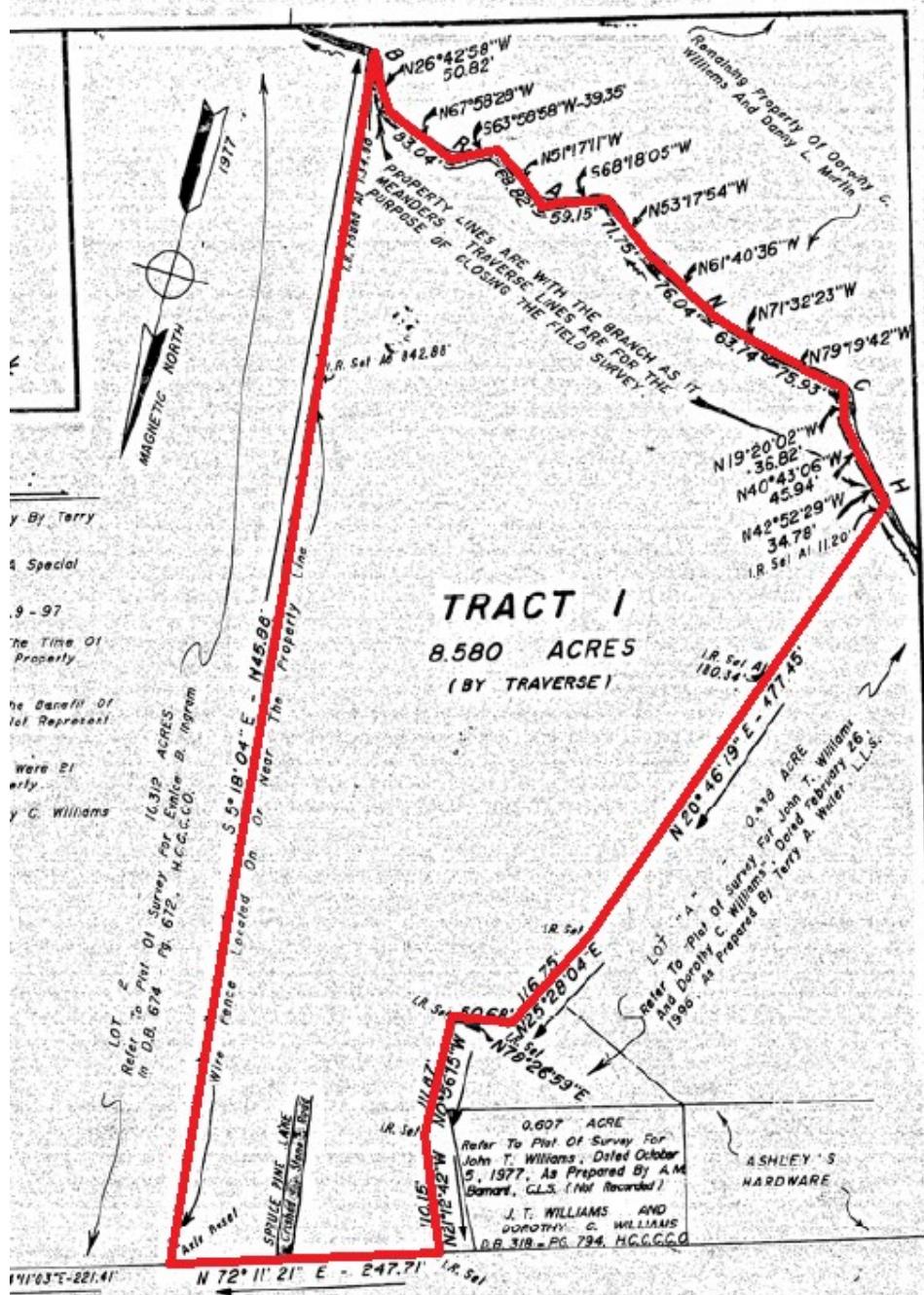
15 Spruce Pine Ln.  
Bassett, VA 24055





# Survey

## Auction Services







Prepared by and return to:

Jonathan D. Puvak (VSB No. 82539)  
Gentry Locke Attorneys  
10 Franklin Rd. S.E.,  
Suite 900  
Roanoke, VA 24011

Tax Map No.: 13.9(000)000/097E  
Account No.: 154670006

Title Insurance: Unknown to preparer

**Assessed Value:** \$166,700.00

Grantee's Address:

5141 Altizer Sugar Run Rd.,  
Hiwassee, VA 24347

**DEED IN LIEU OF FORECLOSURE**

THIS DEED is made and entered into this 4<sup>th</sup> day of March, 2025, by and between **YO DADDY'S PROPERTIES, LLC**, a Virginia limited liability company, herein referred to as "Grantor," and **ZACHARY NOLEN**, herein referred to as "Grantee," and provides as follows:

**W I T N E S S E T H**

WHEREAS, Grantee is the holder of that certain promissory note by Grantor in the original maximum principal amount of \$200,000.00 dated November 1, 2023 (the "Note"); and

WHEREAS, the Note is secured by, among other things, that certain Deed of Trust dated November 1, 2023, from Grantor, of record in the Clerk's Office of the County of Henry, Virginia as Instrument No. 230004104 (the "Deed of Trust"); and

WHEREAS, at the death of Frederick J. Wooden the sole member and owner of Grantor, Grantor ceased to exist and the Property (as defined below) entered into Mr. Wooden's Estate.

WHEREAS, Winter G. F. Wooden, acting as Executor for the Estate of Frederick J. Wooden, will convey the Property on behalf of Grantor to Grantee.

WHEREAS, Grantor has agreed to convey and Grantee has agreed to accept the hereinafter described property in lieu of foreclosure and in consideration of the full satisfaction of the outstanding balance due under the Note.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by Grantor, Grantor does hereby grant, bargain, sell and convey with General Warranty and English Covenants of Title unto Grantee all that certain lot or parcel of land lying and being in the County of Henry, Virginia, and more particularly described as follows (the "Property"):

**PLEASE SEE SCHEDULE A ATTACHED HERETO**

This deed is made subject to all easements, reservations, restrictions and conditions of record affecting the Property.

This conveyance is made in return for the full satisfaction of the Note secured by the Deed of Trust in the outstanding balance of \$208,400.00.

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

WITNESS the following signatures and seals:

By: Winter G. F. Woolden

Name: Winter G. F. Woolden  
Title: Administrator of the ~~the~~ estate

COMMONWEALTH OF VIRGINIA )  
CITY/COUNTY OF Henry ) to-wit:  
                                  )

The foregoing Deed in Lieu of Foreclosure was acknowledged before me this 9 day of  
March, 2025, by Rachael Kreul.

Rachael Kreul  
Notary Public  
Registration No. 1886109

My commission expires:

10/31/28



**SCHEDULE A**

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Yo Daddy's Properties, LLC, a Virginia limited liability company, from Michael James Alderman and Vicki B. Alderman, husband and wife, by deed dated December 1, 2022, and recorded in the aforesaid Clerk's Office on December 1, 2022 as Instrument Number CLR220004882.

Prepared by/Return to:  
Hoyett L. Barrow, Jr. (VSB#15705)  
Gardner, Barrow & Sharpe, P.C.  
231 East Church Street  
Martinsville, VA 24112

Tax Map No.: 13.9(000)000/097E  
Account No.: 154670006

Sales Price: \$150,000  
Tax Assessed Value: \$166,700

Grantee's address: Yo Daddy's Properties, LLC  
715 South Memorial Blvd.  
Martinsville, VA 24112

Title Insurance: None

YO DADDY'S PROPERTIES, LLC,  
A VIRGINIA LIMITED LIABILITY COMPANY

FROM: DEED

MICHAEL JAMES ALDERMAN AND  
VICKI B. ALDERMAN,  
HUSBAND AND WIFE

THIS DEED, made and entered into this 1<sup>st</sup> day of December, 2022, by and between  
MICHAEL JAMES ALDERMAN and VICKI B. ALDERMAN, husband and wife, parties of the  
first part and Grantors herein, and YO DADDY'S PROPERTIES, LLC, a Virginia limited liability  
company, party of the second part and Grantee herein.

WITNESSETH: That for and in consideration of the sum of Ten Dollars (\$10.00)  
cash in hand paid to the Grantors by the Grantee, and other good and valuable consideration, the  
receipt and adequacy of all of which is hereby acknowledged by the Grantors upon their execution  
and delivery of this deed, the Grantors do hereby bargain, sell, grant and convey, in fee simple with

General Warranty and English Covenants of title, unto the Grantee, Yo Daddy's Properties, LLC, all of their rights, title and interests in and to the following described property, to-wit:

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Michael James Alderman and Vicki B. Alderman, husband and wife, from Lawrence Eldean Moore and Timothy Lee Moore, Grantors, by deed dated May 29, 2009, and recorded in the aforesaid Clerk's Office on even date therewith as Instrument Number 090002334.

TOGETHER WITH any and all mobile homes currently titled in the name(s) of one or more of the Grantors, or otherwise acquired by them upon the abandonment by one (1) or more tenant(s) who elected to relinquish possession as opposed to moving the same. FURTHER TOGETHER WITH any and all fire damaged mobile homes presently located within the confines of the above described property. Based thereon, Grantors quitclaim unto Grantee any and all rights and interests that they have in and to all of the aforementioned mobile homes, whether abandoned or fire damaged, and currently parked on the above described Tract 1.

This property is conveyed subject to all lawful existing easements, rights-of-way and restrictions duly of record and affecting said property, all without reimposing or regranting the same herein.

Grantee joins in this Deed to indicate its awareness of Grantors' existing Credit Line

Deed of Trust in favor of Branch Banking and Trust Company, which Trust Deed is dated May 29, 2009, is in the principal amount of \$200,000, and was recorded on even date therewith as Instrument Number 090002335, and as from time to time amended.

WITNESS the following signatures and seals the day and year first above written:

GRANTORS:

Michael James Alderman (SEAL)  
Michael James Alderman

Vicki B. Alderman (SEAL)  
Vicki B. Alderman

GRANTEE:

Yo Daddy's, Properties, LLC,  
a Virginia limited liability company

Frederick J. Wooden (SEAL)  
By: Frederick J. Wooden, Managing Member

STATE OF VIRGINIA, AT LARGE  
CITY OF MARTINSVILLE, TO-WIT:

The foregoing Deed was sworn to and acknowledged before me this 1<sup>st</sup> day of December, 2022, by Michael James Alderman and Vicki B. Alderman, husband and wife, as Grantors.

My commission expires: 9/30/25.  
Notary Registration Number: 362034.

Christina E Hubbard  
Notary Public



STATE OF VIRGINIA  
CITY OF MARTINSVILLE

The foregoing Deed was acknowledged before me this 1<sup>st</sup> day of December, 2022, by Frederick J. Wooden, as Managing Member on behalf of Yo Daddy's Properties, LLC, a Virginia limited liability company, as Grantee.

My commission expires: 9/30/25  
Notary Registration Number: 362034

Christina E Hubbard  
Notary Public



INSTRUMENT 220004882  
RECORDED IN THE CLERK'S OFFICE OF  
HENRY COUNTY CIRCUIT COURT ON  
DECEMBER 1, 2022 AT 10:52 AM  
\$167.00 GRANTOR TAX WAS PAID AS  
REQUIRED BY SEC 58.1-802 OF THE VA. CODE  
STATE: \$83.50 LOCAL: \$83.50  
JENNIFER R. ASHWORTH, CLERK  
RECORDED BY: TKP

PREPARED BY/RETURN TO:  
HOYETT L. BARROW, JR.  
GARDNER, BARROW & SHARPE, P.C.  
231 East Church Street, 4th Floor  
Martinsville, VA 24112  
VSB #: 15705

Amount secured: \$200,000

YO DADDY'S PROPERTIES, LLC,  
A VIRGINIA LIMITED LIABILITY COMPANY

TO: DEED OF TRUST Tax Map No.: 13.9(000)000/097E  
Account No.: 154670006

ZACHARY NOLEN, MARRIED

**THIS DEED OF TRUST**, made this 1<sup>st</sup> day of November, 2023, by and between YO DADDY'S PROPERTIES, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, (hereinafter called "Grantor", whether singular or plural in number), party of the first part, and HOYETT L. BARROW, Jr. of Martinsville, Virginia, and PHILIP G. GARDNER of Martinsville, Virginia, Trustees, either or both of whom may act for all purposes in the execution of this trust, parties of the second part, hereinafter called "Trustees", and ZACHARY NOLEN, married, party of the third part (hereinafter called "Beneficiary").

*WITNESSETH:*

That in consideration of One Dollar (\$1.00) cash in hand paid and the further consideration of the premises, Grantor does grant, bargain, sell and convey unto Trustees, WITH COVENANTS OF GENERAL WARRANTY OF TITLE, all the following described real estate, with its appurtenances and improvements, situated in the County of Henry, Virginia, and being more particularly described as follows, to-wit:

SEE SCHEDULE "A" APPENDED HERETO AND MADE PART AND PARCEL HEREOF FOR DESCRIPTION OF REAL PROPERTY COVERED HEREBY.

**NOTICE: THE DEBT SECURED HEREBY IS SUBJECT TO CALL IN FULL OR THE TERMS THEREOF BEING MODIFIED IN THE EVENT OF SALE OR CONVEYANCE OF THE PROPERTY CONVEYED, OR ANY PORTION THEREOF.**

***IN TRUST***, to secure to Beneficiary the payment of the principal sum of Two Hundred Thousand Dollars (\$200,000.00). This is an interest only debt, and there is no obligation upon

Borrower to repay any portion of the principal until ninety (90) days following November 1, 2024, at the earliest, or at any later date as thereafter elected by the Beneficiary, which election, if made, is subject to the notification provisions contained in the below referenced Promissory Note. The principal amount evidenced by a Promissory Note of even date herewith shall accrue interest at an annual rate of Sixteen and Two Tents percent (16.2%) and Grantor is obligated to make interest only payments of Twenty Seven Hundred Dollars (\$2,700) per month, with the first of said monthly payments being due on December 1, 2023, and on the 1<sup>st</sup> day of each successive and succeeding month thereafter accruing until the 12<sup>th</sup> and final interest only installment is paid on November 1, 2024, subject to the automatic renewal of said loan thereafter on a monthly basis upon the identical terms and conditions hereinbelow set out, excepting only that Payee at any time after November 1, 2024, will be entitled to call this Note due upon written notification to Maker/Borrower, whereupon Maker will be obligated to satisfy in full the principal indebtedness evidenced hereby (i.e. \$200,000), together with any then accrued and unpaid interest, which "called" payment shall be paid by Maker within ninety (90) days of the aforementioned notification. The said principal and interest only monthly installments shall be payable to Beneficiary at 5141 Altizer Sugar Run Road, Hiwassee, Virginia 24347, or such other place as Noteholder may designate.

Balance of principal and any unpaid accrued interest shall be payable at the earliest on ninety (90) days following November 1, 2024, or at any later date as thereafter elected by the Beneficiary, which election, if made, is subject to the aforementioned notification provisions, all pursuant to the aforementioned provisions contained in said Note as herein incorporated by reference thereto.

***RIGHT OF ANTICIPATION IS HEREBY RESERVED, BUT SUBJECT TO THE LIMITING LANGUAGE CONTAINED IN THE PARTIES' PROMISSORY NOTE DATED NOVEMBER 1, 2023.***

***IN TRUST ALSO*** to secure any renewals of the Note above described, any note required by change in the plan of payment made by agreement between Grantor and Beneficiary, and any note given to return the obligation hereby secured, as hereafter curtailed, to an amount not in excess of the original amount hereby secured. **Grantor covenants that it will not transfer or assign the said real estate without the prior written consent of Beneficiary.**

In event of default in any payment above required, or in event of default in any other covenants herein contained, Beneficiary shall have the right and privilege, at his option, and without notice, to declare the remaining unpaid balance of principal, accrued interest charges and other charges hereby authorized immediately due and payable and for all purposes, and failure to exercise said option upon default shall not constitute waiver of the right to declare same upon future default.

The beneficial holder of the indebtedness hereby secured at the time of execution hereof is Zachary Nolen.

Grantor covenants: if applicable, to maintain the improvements on said real estate insured against loss by fire, with broad coverage endorsement attached, in an amount no less than \$200,000.00 with proper mortgage clauses attached for the protection of this trust (naming Zachary

Nolen as Loss Payee), and to present evidence of payment of premiums thereon promptly when due; to promptly pay all taxes and assessments (including sewage service charges, if any) levied against said real estate and to present paid tax tickets for inspection to Beneficiary promptly after due dates. Beneficiary reserves the right to place the payment of insurance premiums, taxes, or other charges against said real estate on an amortized basis, in which event Grantor shall promptly pay, at intervals fixed by Beneficiary, amounts sufficient to amortize such charges.

As additional security, Grantor assigns unto Beneficiary any rents which may now or hereafter be due on the real estate above described, effective on default hereunder at the option of Beneficiary, and with further option in Beneficiary to collect the same or employ agents for that purpose and pay a part of the rents so collected to such agents for that service.

Any insurance paid as a result of damage to the improvements on said real estate may, at Beneficiary's option, be applied to the unpaid obligation or released for repair.

Beneficiary shall have the right and privilege, at his option, but without obligation to do so, to make any payments covenanted to be made by Grantor, and take such action as may be necessary to preserve the above-described property from decay or deterioration, and protect same in any litigation concerning same, in such event any charges incurred for such purposes shall be secured hereby.

Should default occur in the payment of the obligation hereby secured as above provided, or any covenants herein, Trustees, or either of them, upon receipt of written notice and request so to do from Beneficiary, shall sell the real estate herein granted at public auction, for cash in hand on day of sale, at such place as may be selected by Trustees and designated in the notice of sale, after first advertising the same as provided by law, and shall apply the proceeds as provided by law, for which services said Trustees shall be entitled to five percent (5%) of the gross proceeds of such sale. Should it be necessary in the opinion of Trustees, the sale may be postponed as provided by law. At such sale Trustees may require bidder's deposit of ten percent (10%) of bid price. Should either Trustee fail to act under this instrument when requested, for any reason, or in event of their resignation, or for any reason whatsoever, Beneficiary is hereby empowered to appoint by an instrument recorded at the place of recordation of this instrument, one or more substitute Trustees, who shall have all the rights, powers and duties conferred upon the Trustees herein.

Grantor covenants that it possesses legal capacity to execute this instrument and as to the obligation hereby secured it waives all homestead or other exemptions, and that the agreements herein shall be binding upon the LLC's heirs, successors and assigns.

"Exemption waived." "Subject to all upon default." "Renewal or extension permitted." "Right of anticipation reserved" (subject to repayment limitations). "Insurance required, if applicable, is \$200,000.00." "Substitution of Trustee permitted." "Any Trustee may act."

Extension of the time for payment or modification of amortization of the sums secured by this Deed of Trust granted by Beneficiary to any successor in interest of Grantor shall not operate to release, in any manner, the liability of the original Borrower (Grantor) and Borrower's (Grantor's)

successors in interest.

Upon satisfaction of the obligation hereby secured, Grantor shall be entitled to a release of the lien of this instrument at Grantor's own proper cost and charge.

WITNESS the following signature and seal, this the day and year first above written:

Yo Daddy's Properties, LLC,  
a Virginia limited liability company

By:   
Frederick J. Wooden, Sole Member

(SEAL)

STATE OF VIRGINIA, AT LARGE,  
CITY OF MARTINSVILLE, TO-WIT:

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of November, 2023, by Frederick J. Wooden, as Sole Member of Yo Daddy's Properties, LLC, a Virginia limited liability company, as Grantor.

My commission expires: 9/30/25

Christina E Hubbard  
NOTARY PUBLIC

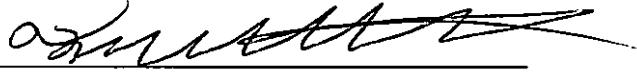


**SCHEDEULE "A"**

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Yo Daddy's Properties, LLC, a Virginia limited liability company, from Michael James Alderman and Vicki B. Alderman, husband and wife, by deed dated December 1, 2022, and recorded in the aforesaid Clerk's Office on December 1, 2022 as Instrument Number CLR220004882.

Yo Daddy's, Properties, LLC,  
a Virginia limited liability company

  
By:Frederick J. Wooden, Managing Member

INSTRUMENT 230004104  
RECORDED IN THE CLERK'S OFFICE OF  
HENRY COUNTY CIRCUIT COURT ON  
NOVEMBER 6, 2023 AT 10:53 AM  
JENNIFER R. ASHWORTH, CLERK  
RECORDED BY: RAM

## CONTRACT OF PURCHASE

THIS CONTRACT OF PURCHASE (hereinafter "Contract") is made as of April 21<sup>st</sup>, 2026, between Zachary Nolen owners of record of the Property sold herein (hereinafter referred to as the "Seller"), and \_\_\_\_\_

(hereinafter referred to as the "Purchaser", whether one or more). The Purchaser was the successful bidder at a public auction of the Property held on this date and this Contract restates the terms of sale announced prior to the auction sale.

- 1. Real Property.** Purchaser agrees to buy, and Seller agrees to sell the land and all improvements thereon and appurtenances thereto which fronts upon a public street or has a recorded access easement to a public street (hereinafter referred to as the "Property"), located in the County of Henry, Virginia, and described as:

- 2. Legal Description –**

+/- 8.58 acres and Improvements; Tax Map #: 13.9(0000 )000 /097E; PID #: 798; L2200/04882

**More Commonly Known As** – 15 Spruce Pine Ln., Bassett, VA 24055

- 3. Purchase Price.** The purchase price of the Property is equal to the auction bid price plus 10% Buyer's Premium, which is as follows: \_\_\_\_\_ (hereinafter referred to as the "Purchase Price"), which shall be paid to the Settlement Agent (designated below) at settlement ("Settlement") by certified or cashier's check, or wired funds, subject to the prorations described herein.
- 4. Deposit.** Purchaser has made a deposit with the Auction Company, of **\$5,000** (hereinafter referred to as the "Deposit"). The Deposit shall be held by the Auction Company, pursuant to the terms of this Contract, until Settlement and then applied to the Purchase Price.
- 5. Settlement Agent and Possession.** Settlement shall be made at **Attorney or Title Company of Purchasers Choice** on or before **June 22<sup>nd</sup>, 2026** ("Settlement Date"). Time is of the essence. Possession shall be given at Settlement.

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

## 6. Required Disclosures.

### (a) Mechanics' and Materialmen's Liens.

#### NOTICE

Virginia law (Virginia Code § 43-1 *et seq.*) permits persons who have performed labor or furnished materials for the construction, removal, repair or improvement of any building or structure to file a lien against the Property. This lien may be filed at any time after the work is commenced or the material is furnished, but not later than the earlier of (i) 90 days from the last day of the month in which the lienor last performed work or furnished materials or (ii) 90 days from the time the construction, removal, repair or improvement is terminated.

AN EFFECTIVE LIEN FOR WORK PERFORMED PRIOR TO THE SETTLEMENT DATE MAY BE FILED AFTER SETTLEMENT. LEGAL COUNSEL SHOULD BE CONSULTED.

(b) **Title Insurance Notification.** Purchaser may wish at Purchaser's expense to purchase owner's title insurance. Depending on the particular circumstances of the transaction, such insurance could include affirmative coverage against possible mechanics' and materialmen's liens for labor and materials performed prior to Settlement and which, though not recorded at the time of recordation of Purchaser's deed, could be subsequently recorded and would adversely affect Purchaser's title to the Property. The coverage afforded by such title insurance would be governed by the terms and conditions thereof, and the premium for obtaining such title insurance coverage will be determined by its coverage.

(c) **Choice of Settlement Agent.** Virginia's Consumer Real Estate Settlement Protection Act provides that the purchaser or borrower has the right to select the settlement agent to handle the closing of this transaction. The settlement agent's role in closing this transaction involves the coordination of numerous administrative and clerical functions relating to the collection of documents and the collection and disbursement of funds required to carry out the terms of the contract between the parties. If part of the purchase price is financed, the lender for the purchaser will instruct the settlement agent as to the signing and recording of loan documents and the disbursement of loan proceeds. No settlement agent can provide legal advice to any party to the transaction except a settlement agent who is engaged in the private practice of law in Virginia and who has been retained or engaged by a party to the transaction for the purpose of providing legal services to that party.

Variation by agreement: The provisions of the Consumer Real Estate Settlement Protection Act may not be varied by agreement, and rights conferred by this chapter may not be waived. The Seller may not require the use of a particular settlement agent as a condition of the sale of the property.

Escrow, closing and settlement service guidelines: The Virginia State Bar issues guidelines to help settlement agents avoid and prevent the unauthorized practice of law in connection with furnishing escrow, settlement or closing services. As a party to a real estate transaction, the purchaser or borrower is entitled to receive a copy of these guidelines from your settlement agent,

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

upon request, in accordance with the provisions of the Consumer Real Estate Settlement Protection Act.

## 7. Standard Provisions.

(a) **Deposit.** If Purchaser fails to complete settlement on or before the Settlement Date, time being of the essence, the Deposit shall be forfeited to the Seller. Such forfeiture shall not limit any liability of the defaulting Purchaser or any rights or remedies of the Seller with respect to any such default, and the defaulting Purchaser shall be liable for all costs of re-sale of the Property (including attorney's fees of Seller), plus any amount by which the ultimate sale price for the Property is less than the defaulting purchaser's bid. After any such default and forfeiture, the Property may, at the discretion of the Seller, be conveyed to the next highest bidder of the Property whose bid was acceptable to the Seller. In the event the Seller does not execute a deed of conveyance for any reason, the Purchaser's sole remedy shall be the refund of the deposit. Immediately upon delivery of the deed for the Property by the Seller, all duties, liabilities, and obligations of the Seller, if any, to the purchaser with respect to the Property shall be extinguished.

(b) **Expenses and Prorations.** Seller agrees to pay the costs of preparing the deed, certificates for non-foreign status and state residency and the applicable IRS Form 1099, and the recordation tax applicable to grantors. Except as otherwise agreed herein, all other expenses incurred by Purchaser in connection with the Contract and the transaction set forth therein, including, without limitation, title examination costs, insurance premiums, survey costs, recording costs, loan document preparation costs and fees of Purchaser's attorney, shall be borne by Purchaser. All taxes, assessments, interest, rent and mortgage insurance, if any, shall be prorated as of Settlement. In addition to the Purchase Price, Purchaser shall pay Seller (i) for all propane remaining on the Property (if any) at the prevailing market price as of Settlement and (ii) any escrow Deposits made by Seller which are credited to Purchaser by the holders thereof.

(c) **Title.** At Settlement, Seller shall convey to Purchaser good and marketable fee simple title to the Property by **Deed of General Warranty**, free of all liens, tenancies, defects and encumbrances, except as otherwise indicated herein, and subject only to such restrictions and easements as shall then be of record which do not affect the use of the Property for residential purposes or render the title unmarketable. If a defect is found which can be remedied by legal action within a reasonable time, Seller shall, at Seller's expense, promptly take such action as is necessary to cure the defect. If Seller, acting in good faith, is unable to have such defect corrected within 60 days after notice of such defect is given to Seller, then this Contract may be terminated by either Seller or Purchaser. Purchaser may extend the date for Settlement to the extent necessary for Seller to comply with this Paragraph but not longer than 60 days.

(d) **Land Use Assessment.** In the event the Property is taxed under land use assessment and this sale results in disqualification from land use eligibility, Seller shall pay, when assessed, whether at or after Settlement, any rollback taxes assessed. If the Property continues to be eligible for land use assessment, Purchaser agrees to make application, at Purchaser's expense, for continuation under land use, and to pay any rollback taxes resulting from failure to file or to qualify.

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

(e) **Risk of Loss.** All risk of loss or damage to the Property by fire, windstorm, casualty or other cause, or taking by eminent domain, is assumed by Seller until Settlement. In the event of substantial loss or damage to the Property before Settlement, Purchaser shall have the option of either (i) terminating this Contract, or (ii) affirming this Contract, with appropriate arrangements being made by Seller to repair the damage, in a manner acceptable to Purchaser, or Seller shall assign to Purchaser all of Seller's rights under any applicable policy or policies of insurance and any condemnation awards and shall pay over to Purchaser any sums received as a result of such loss or damage.

(f) **Property Sold "As Is".** Purchaser agrees to accept the Property at Settlement in its present physical condition. No representations or warranties are made as to zoning, structural integrity, physical condition, environmental condition, construction, workmanship, materials, habitability, fitness for a particular purpose, or merchantability of all or any part of the Property.

(g) **Counterparts.** This Contract may be executed in one or more counterparts, with each such counterpart to be deemed an original. All such counterparts shall constitute a single agreement binding on all the parties hereto as if all had signed a single document. It is not necessary that all parties sign all or any one of the counterparts, but each party must sign at least one counterpart for this Contract to be effective.

(h) **Assignability.** This Contract may not be assigned by either Seller or Purchaser without the written consent of the other.

(i) **Miscellaneous.** The parties to this Contract agree that it shall be binding upon them, and their respective personal representatives, successors and assigns, and that its provisions shall not survive Settlement and shall be merged into the deed delivered at Settlement except for the provisions relating to rollback taxes. This Contract contains the final agreement between the parties hereto, and they shall not be bound by any terms, conditions, oral statements, warranties or representations not herein contained. This Contract shall be construed under the laws of the Commonwealth of Virginia.

(i) **Auction is subject to VA Statute 55.1-1308.2..** § 55.1-1308.2. Notice of intent to sell. A. A manufactured home park owner who offers or lists the park for sale to a third party shall provide written notice containing the date on which the notice is sent and the price for which the park is to be offered or listed for sale. Such notice shall be sent to the Department of Housing and Community Development, which shall make the information available on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park, in accordance with § 55.1-1202, at least 90 days prior to accepting an offer. A manufactured home park owner shall consider any offers to purchase received during such 90-day notice period. For purposes of this section, "third party" does not include a member of the manufactured park owner's family by blood or marriage or a person or entity that owns a portion of the park at the time of the offer or listing of such manufactured home park. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after the written notice provided in this section.

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

B. If a manufactured home park owner receives an offer to purchase the park, acceptance of that offer shall be contingent upon the park owner sending written notice of the proposed sale and the purchase price in the real estate purchase contract at least 60 days before the closing date on such purchase contract to the Department of Housing and Community Development, which shall place the information on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park. During the 60-day notice period, the park owner shall consider additional offers to purchase the park made by an entity that provides documentation that it represents at least 25 percent of the tenants with a valid lease in the manufactured home park at the time any such offer is made, but shall not be obligated to consider additional offers after the expiration of the 60-day notice period. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after provision of the written notice required by this section.

More information on the code can be found at:

<https://law.lis.virginia.gov/vacode/title55.1/chapter13/section55.1-1308.2/>

C. All mobile homes located on the property are owned by the tenants, not the park owner. Therefore, mobile home titles will not be transferred to purchaser. Additionally, purchaser acknowledges that there may be limitations or regulations that prohibit the relocation / removal of mobile homes from property. Bidder acknowledges that information on manufactured homes is limited to physical exterior inspection and that the seller does not possess titles to the mobile homes. Inspection of mobile homes is only relevant to ascertain overall appeal of mobile home park.

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

IN WITNESS WHEREOF, the Purchaser and the Seller have duly executed this Contract as of the day and year first above written.

---

Zachary Nolen (Seller)

Date

---

Purchaser Name

---

Address

---

Phone #

---

Email

---

(Purchaser signature)

Date

---

Purchaser Name

---

Address

---

Phone #

---

Email

---

(Purchaser signature)

Date

Seller's Initials \_\_\_\_\_

Purchaser's Initials \_\_\_\_\_

## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

Dec 13-7

Owner: Crags I. t.

Address:

Date 12/21/80 Case No.Occupant: 4-Traders - Repair

Address:

Phone

TNU-4

Exact Location  
of Premises

(Mailing Address)

Phone

(Mailing Address)

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design

 Yes No.

Distance to nearest House Sewer \_\_\_\_\_ feet: Distance to nearest Sewer Disposal System \_\_\_\_\_ feet.

(Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  
nearest lot lines \_\_\_\_\_ feet.  
Water Supplies \_\_\_\_\_ feet. Yes No.

Distance from

Trees \_\_\_\_\_ feet.

Buildings \_\_\_\_\_ feet.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test

 Yes  No. Distribution Box provided with \_\_\_\_\_ (Number)

extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 2400 square feet.

Number of ditches \_\_\_\_\_ Length of ditches \_\_\_\_\_ ft

Grade of ditches Minimum \_\_\_\_\_ inches per 100 ft

Maximum \_\_\_\_\_ inches per 100 feet. Has system been checked by instruments (Level)  Yes  No.Type aggregate used Crushed Grit 100 incl

Depth of aggregate under Tile \_\_\_\_\_ incl

Total depth of aggregate 73 inclDepth of backfill over aggregate 36 incl

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drain required  Yes  No.

If Yes, has this been provided.

 Yes  No. Has area been drained by lowerGround Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material Plastic Size \_\_\_\_\_ inches.

## (5) SEPTIC TANK

Constructed of Edging (Kind of Material)  
Inside Dimensions Length \_\_\_\_\_ feet. Width \_\_\_\_\_ feet.  
Liquid Depth \_\_\_\_\_ feet. Depth of Air Space \_\_\_\_\_ inches.  
Inside Fittings comply with requirements  Yes  No.

## Septic Tank

Contractor: Bernard Murphy

Address:

Phone:

This Sewage Disposal System (If Not Approved) Approved by Henry J. Murphy

Health Department

Date 12/21/80Signed Bernard B. Williams

(Sanitarian)

Date \_\_\_\_\_

Approved

(Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: \_\_\_\_\_



## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

Dec 13, 9

Owner Craig S. H. Address 106 Bassett, Va. Date 4/2/80 Case No. END 44  
 Occupant 2710 Address  Phone   
 (Mailing Address)   
 (Mailing Address)   
 Exact Location of Premises 57W above Bassett on Craig St. Between 87 & 97 on R.  
 (Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer feet. Distance to nearest Sewer Disposal System  feet. (Use Form LHS-143 for Detailed inspection of Water Supply-Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines feet. Trees feet. Water Supplies feet. Buildings feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No.  
 Have additional Household Appliances been added NOT on Permit:  
 Automatic Washer  Garbage Disposal  
 Other  
 (Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material \_\_\_\_\_ Size \_\_\_\_\_ inches.

## (5) SEPTIC TANK

Constructed of \_\_\_\_\_ (Kind of Material)  
 Inside Dimensions Length \_\_\_\_\_ feet. Width \_\_\_\_\_ feet.  
 Liquid Depth \_\_\_\_\_ feet. Depth of Air Space \_\_\_\_\_ inches.  
 Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  
 Yes  No. Distribution Box provided with \_\_\_\_\_ (Number) extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 480 square feet.  
 Number of ditches 4 Length of ditches 30 feet  
 Grade of ditches Minimum 2 Inches per 100 feet  
 Maximum 4 Inches per 100 feet. Has system been checked by instruments (Level)  Yes  No.  
 Type aggregate used concrete 8" x 10" inch  
 Depth of aggregate under Tile 30 inch  
 Total depth of aggregate 30 inch  
 Depth of backfill over aggregate 30-42 inch

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lower Ground Water Table:  Yes  No.  Not required.

(9) Are follow-up inspections necessary  Yes  No.

## Septic Tank

Contractor: Snared Murphy Address Bassett, Va. Phone

This Sewage Disposal System (S) is (is not) Approved by Henry G. Health Department

Date 4/2/80 Signed Samuel B. Vilela  
 (Sanitarian)

Date  Approved   
 (Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: \_\_\_\_\_

PERMIT TO INSTALL  REPAIR  REASONS FOR REJECTION WATER SUPPLY  SEWAGE DISPOSAL SYSTEM 

(1) Void after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.  
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA:  Yes  No Date 4/21/70 Case No. Med 3Owner Carroll & Co.Address 16, Bassett, Va.

Phone

Occupant 12-Two

Address

Phone

Exact Location  
of premises5700 above Bassett on L. just before 601. Between the 8th & 9th

(Subdivision, Street or Road Name, Section or Lot No.)

FOR:  Dwelling  Other 2-Trusses Automatic Washing Machine  Yes  No Consumption 800 gal. per day  
 Actual  Potential  Bedrooms  Yes  No  Actual  Estimated Water  
 Additional wastes

(1) WATER SUPPLY (Existing) Class III Approved  Yes  No Other  
 (To be installed) Class Cased ft. to be grouted ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

SOIL STUDY Naturally drained, suitable by sight  Yes  No Technical Classification

(2) Estimated Percolation Rate 1-10  11-25  26-50  > 51  Percolation Test Required  Yes  No Rate  
 (Minutes per inch)

Depth to Grey Mottles inches (estimate over 4 ft.) OTHER

Surface drainage required  Yes  No OTHER DRAINAGE

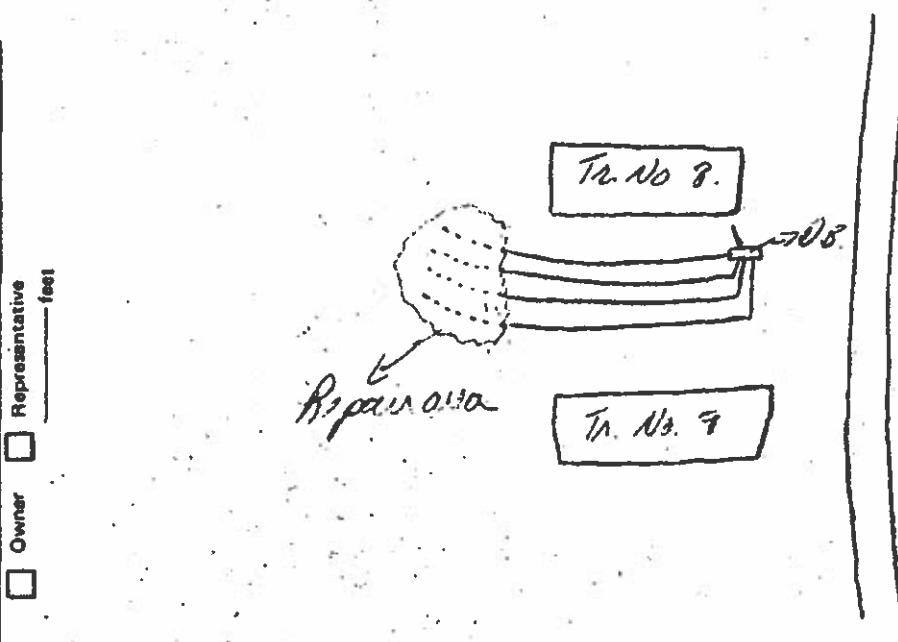
(3) HOUSE SEWER LINE Size inches Type of material required Distance from Water Supply feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of digging Material Liquid Capacity gallons.  
 Inside Dimensions Length feet. Width feet. Liquid Depth feet. Depth of Air Space feet.

SUBSURFACE ABSORPTION FIELD Number of square feet required 480 Type aggregate required crushed stone(5) Depth of aggregate from base of tile to bottom of ditches 13 inches.Total aggregate minimum depth 20 inches or more. Depth of drainfield to be 36-42 inches from surface of original ground.

Distance from well to septic tank feet; distance from well to drainfield feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Add.  
 (a) 30' trench line  
 (b) 13" of gravel under  
 with 7" of cover.

Signature \_\_\_\_\_  
 Representative \_\_\_\_\_  
 feet  
  
 Owner \_\_\_\_\_  


Note: Owner or his agent must notify \_\_\_\_\_ Health Department, Phone 638-2511 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 4/21/70 Approved Samuel B. WalkerDate 4/21/70 Signed Samuel B. WalkerLHS - 121 REV. 12/71  
 Virginia State Department of Health

(Reviewing Authority)

(Sanitarian or Health Director)

DUPLICATE

## RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM

Shid 13-9  
Parcel 4  
Lot 98

Date 7/24/73 Case No.

Owner F.A. Craig

Address R.R. 2, Bassett, Va.

Phone

Occupant Craig's Trailer Park

(Mailing Address)

Phone

Exact Location of Premises

57 Wolverine Bassett (Craig's trailer Park)

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer 70 feet. Distance to nearest Sewage Disposal System 50 feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines 10 feet. Trees 10 feet. Water Supplies 50 feet. Buildings 10 feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal None  Other (Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material Plastic. Size 4 inches.

## (5) SEPTIC TANK

Constructed of Precast (3) <sup>(Kind of Material)</sup> Inside Dimensions Length 3 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with 2  (Number) extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 1200 (3 systems) square feet. Number of ditches 12 length of ditches 100 feet. Grade of ditches Minimum 2 inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (level)  Yes  No. Type aggregate used crushed stone. Depth of aggregate under Tile 4 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 30 inches.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor:

Fieldale Cement Prod.

Address

Fieldale, Va.

Phone

This Sewage Disposal System  Approved by

Henry Co. Health Department.

Date 7/24/73 Signed Samuel B. Nichols  (Sanitarian)

Date Approved

(Health Director)

Date Approved

(Advisory Sanitarian)

Date Approved

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

PERMIT TO INSTALL  REPAIR  REASONS FOR REJECTION  Parcel  
 WATER SUPPLY  SEWAGE DISPOSAL SYSTEM

(1) Void after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.  
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA:  Yes  No Date 7/24/73 Case No.

Owner F.A. Clegg Address Rt. 2, Bassett, Va. Phone IN 1

Occupant For Trailers (6) Address (Mailing Address) Phone 15

Exact Location of premises 514 Wm. Bassett at Camp Shaffer Park (Subdivision, Street, or Road Name, Section or Lot No.)

FOR:  Dwelling  Other Trailer Park Automatic Washing Machine  Yes  No Consumption 1800 gal. per day  
 Actual  Potential  Bedrooms Garbage Disposal Unit  Yes  No  Actual  estimated Water  
 Additional wastes:

(1) WATER SUPPLY (Existing) Class III Approved  Yes  No Other (To be installed) Class  Cased ft. to be grouted ft. (Unless supported by positive evidence Class III is to be considered as to be installed.)

(2) SOIL STUDY Naturally drained; suitable by sight  Yes  No Technical Classification (III Known)  
 Estimated Percolation Rate 1-10  11-25  26-50  > 51 Percolation Test Required  Yes No  Rate (Minutes per inch to nearest 10 minutes)

Depth to Grey Mottles inches (estimate over 4 ft.): OTHER  
 Surface drainage required  Yes  No OTHER DRAINAGE

(3) HOUSE SEWER LINE Size 4 inches. Type of material required Plastic. Distance from Water Supply 50 feet.

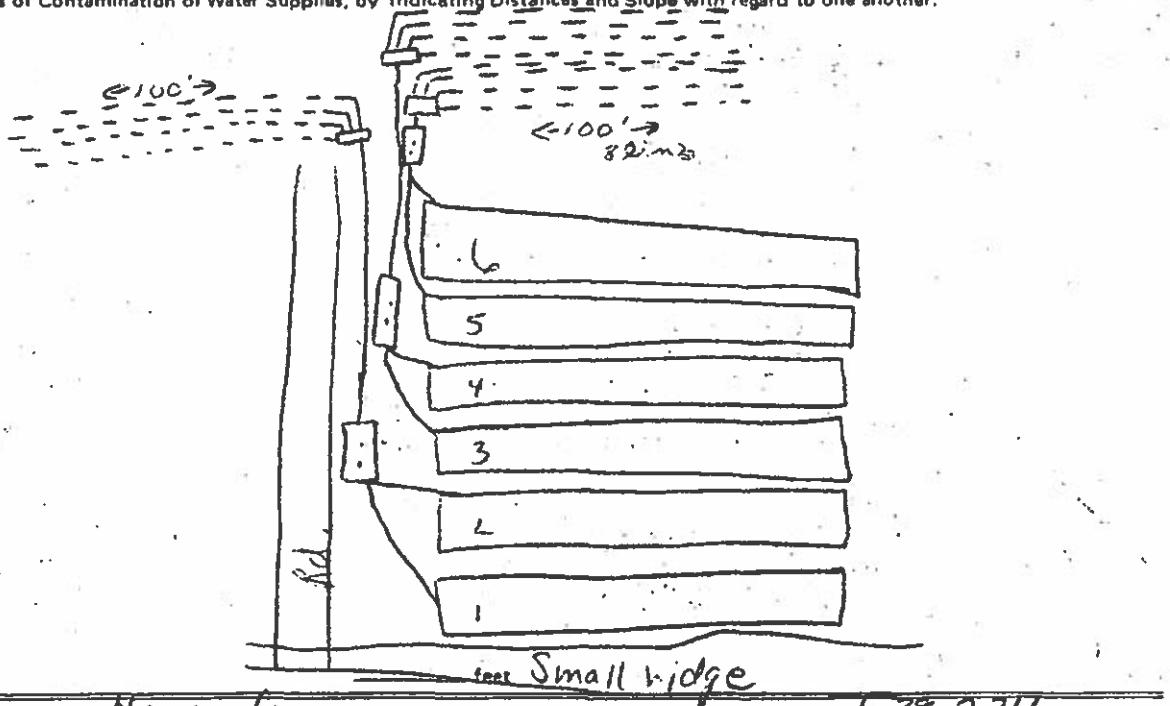
(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Precast (3) Material Liquid Capacity 960 gallons.  
 Inside Dimensions Length 8 feet. Width 7 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches

SUBSURFACE ABSORPTION FIELD Number of square feet required 3600 Type aggregate required crushed stone

(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.  
 Total aggregate minimum depth 30 inches or more. Depth of drainfield to be 30 inches from surface of original ground.

Distance from well to septic tank 50 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Health Department, Phone 6038-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 4/24/73 Approved John Nichols Date 4/24/73 Signed John Nichols (Sanitarian or Health Director)

LHS - 121 REV. 12/71 (Reviewing Authority)

Virginia State Department of Health

DUPLICATE

## RECORD INSPECTION-SEWAGE DISPOSAL SYSTEM

Parcel 1  
Lot 98

Date 4/27/72 Case No. 11

Owner J. A. Clegg

Address At 2, Bassett, Va.

Phone 51

Occupant Trailers

Address

Phone

Exact Location of Premises

57 W above Bassett, on L

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer 50 feet. Distance to nearest Sewage Disposal System 50 feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allocated Area adequate  Yes  No. Distance from nearest lot lines 10 feet. Trees 10 feet. Water Supplies 50 feet. Buildings 10 feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  Other None

(Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material 6 in. Size 4 inches.

## (5) SEPTIC TANK

Constructed of Precast  
(Kind of Material)  
Inside Dimensions Length 8 feet. Width 4 feet.  
Liquid Depth 4 feet. Depth of Air Space 12 inches.  
Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with 3 extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 400 square feet. Number of ditches 8 Length of ditches 100 feet. Grade of ditches Minimum 2 inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used crushed stone. Depth of aggregate under Tile 6 inches. Total depth of aggregate 15 inches. Depth of backfill over aggregate 36 inches.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor:

Fieldale Cement Prod. Address Fieldale, Va.

Phone

This Sewage Disposal System (Is) (Is not) Approved by

Henry Co.

Health Department

Date 4/27/72 Signed Sam Nichols  
(Sanitarian)

Date Approved

(Health Director)

Date Approved  
(Advisory Sanitarian)

Date Approved

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:



## RECORD INSPECTION-SEWAGE DISPOSAL SYSTEM

Drid - 13-5  
Parcel - A  
Lat - 9  
Inv. 9

Date 8-11-72 Case No.

Owner F. A. Craig

Address 852 Bassett, Va Phone \_\_\_\_\_  
(Mailing Address)

Occupant Trail Court

Address \_\_\_\_\_ Phone \_\_\_\_\_  
(Mailing Address)Exact Location  
of Premises220 N. Lion St. W above Bassett on left about 2 1/2 miles  
(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer 10 feet. Distance to nearest Sewage Disposal System 10 feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines 10 feet. Trees 10 feet. Water Supplies 10 feet. Buildings 10 feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  
 Other None  
(Describe) \_\_\_\_\_

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material C. T. Size 4 inches.

## (5) SEPTIC TANK

Constructed of Concrete  
(Kind of Material)  
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 1.2 inches. Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with 2 extra outlets for future use. (Number) \_\_\_\_\_

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 95 square feet. Number of ditches 1 Length of ditches feet. Grade of ditches Minimum 2 Inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used crushed stone. Depth of aggregate under Tile 10 inches. Total depth of aggregate 16 inches. Depth of backfill over aggregate 49 inches.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor

Fieldale Cement Products

Address Fieldale, Va Phone \_\_\_\_\_

This Sewage Disposal System  (Is)  (Is not) Approved by

Henry Co.

Health Department

Date 8-11-72 Signed

Sam Nichols  
(Sanitarian)

Date \_\_\_\_\_

Approved \_\_\_\_\_

(Health Director)

Date \_\_\_\_\_ Approved \_\_\_\_\_

(Advisory Sanitarian)

Date \_\_\_\_\_

Approved \_\_\_\_\_

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: \_\_\_\_\_

**WATER SUPPLY  SEWAGE DISPOSAL SYSTEM**

(1) Valid after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.  
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA  Yes  No Date 8-10-72 Case No. IN-12

Owner F. A. Craig

Address RT 2, Bassett  
(Mailing Address)

Phone

Occupant Trailer Court

Address   
(Mailing Address)

Phone

Exact Location  
of premises

220 N, 57W above Bassett about 2.5 mi on right left trail  
Court.

(Subdivision, Street or Road Name, Section or Lot No.)

FOR:  Dwelling  Other Apartment Automatic Washing Machine  Yes  No Consumption gal. per day  
 Actual  Potential  Bedrooms Garbage Disposal Unit  Yes  No  Actual  Estimated Water  
 Additional wastes

(1) WATER SUPPLY (Existing) Class III Approved  Yes  No Other  
 (To be installed) Class  Cased  ft. to be grouted  ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

SOIL STUDY Naturally drained, suitable by sight  Yes  No Technical Classification

(2) Estimated Percolation Rate 1-10  11-25  26-50  > 51 Percolation Test Required  Yes  No  Rate 11 Known  
 (Minutes per inch)

Depth to Grey Mottles  inches (estimate over 4 ft.) OTHER

Surface drainage required  Yes  No OTHER DRAINAGE

(3) HOUSE SEWER LINE Size 4 inches. Type of material required C.I. Distance from Water Supply 50 feet.

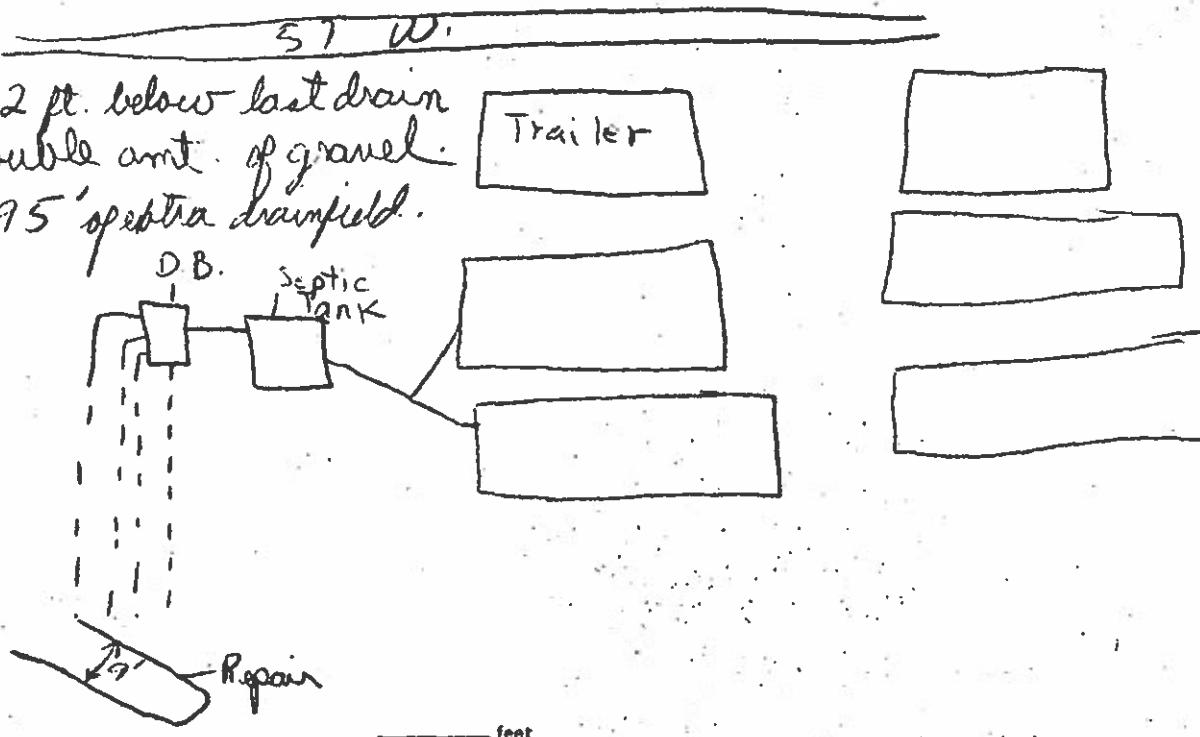
(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Concrete Material Liquid Capacity 960 gallons.  
 Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12" feet.

SUBSURFACE ABSORPTION FIELD Number of square feet required 800 Type aggregate required crushed stone

(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.  
 Total aggregate minimum depth 13 inches or more. Depth of drainfield to be 40 inches from surface of original ground.

Distance from well to septic tank 10 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Signature of the owner  
 Representative feet  
 Owner feet

Note: Owner or his agent must notify Henry Co. Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 8-10-72 Approved Sam Velds

Date 8-10-72 Signed Sam Velds

(Reviewing Authority)

NOTICE DATE

(Sanitarian or Health Director)

LHS-121 REV. 12/71

## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

Block 15-9  
Parcel - A

Date 6/21/79 Case No. 107-48

Owner Craig & C.  
2-Tax.

Address RTG, Bassett, Va.

Phone

Occupant

Address

Phone

Exact Location  
of Premises

5701, on 1 acre is from 601

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design

No. Distance to nearest House Sewer

100

feet. Distance to nearest Sewage Disposal System

100

feet.

(Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  
nearest lot linesYes No. Distance from  
Trees feet. Buildings feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design

No.

Have additional Household Appliances been added NOT on Permit:

 Automatic Washer

Garbage Disposal

 Other

(Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed 

No. Type of material

Size 4 inches.

## (5) SEPTIC TANK

Constructed of

Precast (Epoxying)

(Kind of Material)

Inside Dimensions Length feet. Width feet.

Liquid Depth feet. Depth of Air Space inches.

Inside Fittings comply with requirements 

Yes No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test

Yes No. Distribution Box provided with

(Number)

extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 1200 square feet.

Number of ditches 4 Length of ditches 100 feet.

Grade of ditches Minimum 2 inches per 100 feet.

Maximum 4 inches per 100 feet. Has system been

checked by instruments (Level)  Yes  No.

Type aggregate used crushed stone

Depth of aggregate under Tile 6 inches

Total depth of aggregate 15 inches

Depth of backfill over aggregate 30-42 inches

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainagerequired  Yes  No. If Yes, has this been provided Yes  No. Has area been drained by loweringGround Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.Septic Tank  
Contractor:

Bernard Murphy

Address

Patrick Co.

Phone

This Sewage Disposal System (Is) (Is Not) Approved by

Henry Co.

Health Department

Date 6/21/79

Signed

Bernard Murphy - Ford D.

(Sanitarian)

Date

Approved

(Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

INSTALL  REPAIR,  REASONS FOR REJECTION  **WATER SUPPLY**  **SEWAGE DISPOSAL SYSTEM**

and after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.

(3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/Va:  Yes  No Date: 8/20/72 Case No. 142

Owner: Charles J. Ut

Occupant: 2-Trs

Exact Location  
of premises:

57W, on 1 acre from #601

(Subdivision, Street or Road Name, Section or Lot No.)

FOR:  Dwelling,  Other 2-Trs Automatic Washing Machine  Yes  No Consumption 600 gal. per day  
Actual  Potential  Bedrooms  Gerbage Disposal Unit  Yes  No  Actual  Estimated Water  
Additional wastes

(1) **WATER SUPPLY** (Existing) Class III Approved  Yes  No  
(To be installed) Class Cased ft. to be grouted ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

SOIL STUDY Naturally drained, suitable by sight  Yes  No Technical Classification

(2) Estimated Percolation Rate 1-10.  11-25  26-50  > 51  Percolation Test Required  Yes  No  Rate  
(Minutes per inch) (Minutes per inch to nearest 10 minutes)

Depth to Grey Mottles inches (estimate over 4 ft.) OTHER

Surface drainage required   No OTHER DRAINAGE

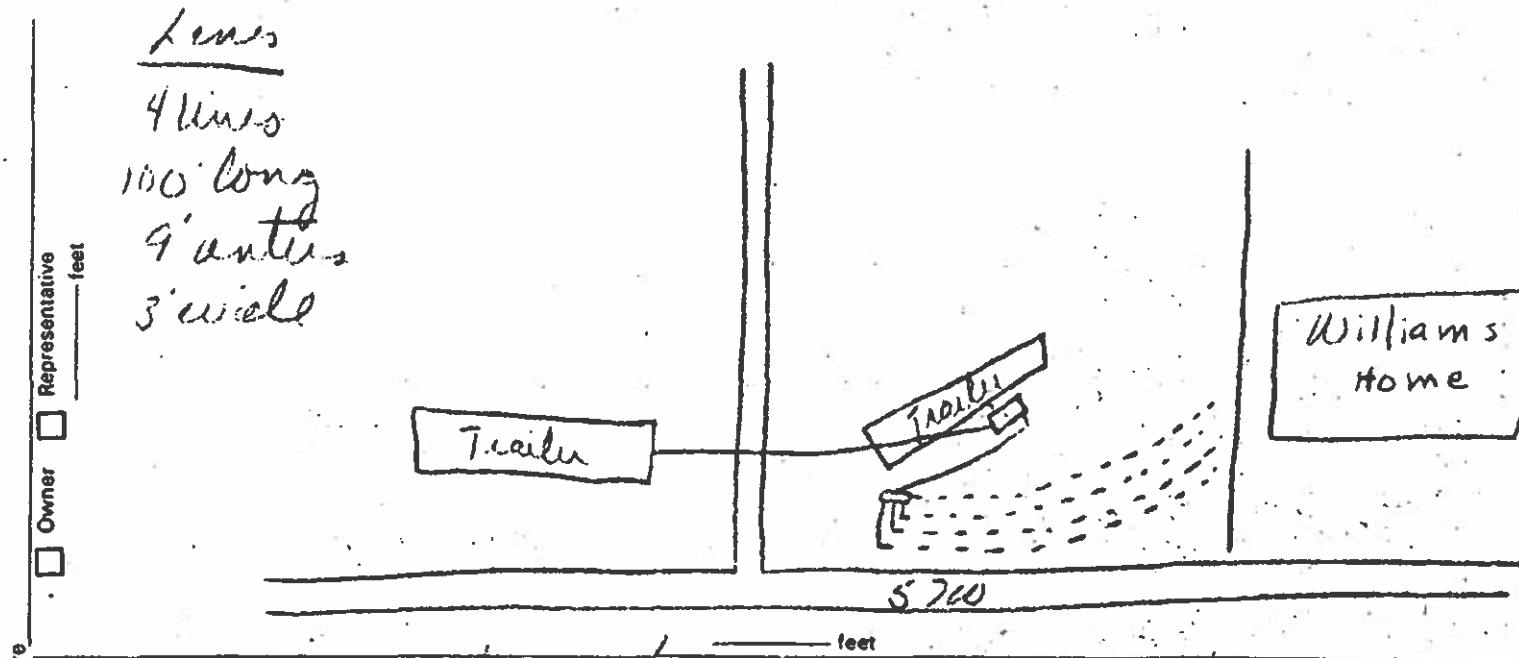
(3) **HOUSE SEWER LINE** Size 4 inches. Type of material required Plas Distance from Water Supply — feet.

(4) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of Existing Material Liquid Capacity 900 gallons.  
Inside Dimensions Length feet Width feet Liquid Depth feet Depth of Air Space feet

**SUBSURFACE ABSORPTION FIELD** Number of square feet required 1800 Type aggregate required standard stone

(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.  
Total aggregate minimum depth 15 inches or more. Depth of drainfield to be 36 inches from surface of original ground.  
Distance from well to septic tank 30 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Health Department, Phone 635-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 8/20/72 Approved Sam Nichols

Date 8/20/72 Signed Sam Nichols

LHS - 121 REV. 12/71  
Virginia State Department of Health

(Sanitarian or Health Director)

REBURN

## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

Date 3-23-65 Case No.

Owner F.A. CRAIB

Address Rt. 2 Bassett

Phone

Occupant TRAILER PARK

Address

Phone

Exact Location of Premises

See LAY OUT

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer \_\_\_\_\_ feet. Distance to nearest Sewage Disposal System \_\_\_\_\_ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines NA feet. Trees NA feet. Water Supplies NA feet. Buildings 20 feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  Other none (Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material CI T  
x TC lines Size 4 inches

## (5) SEPTIC TANK

Constructed of precast (Kind of Material)  
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with 2 extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 1200 square feet. Number of ditches 12 Length of ditches \_\_\_\_\_ feet. Grade of ditches Minimum \_\_\_\_\_ Inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used Broken stone. Depth of aggregate under Tile 6 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 20-30 inches.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor:

Fielder Cement Products Co.

Address Phone

This Sewage Disposal System (Is) (Is Not) Approved by

Henry County

Health Department

Date 3-23-65 Signed Dayman

(Sanitarian)

Date Approved

(Health Director)

Date Approved

(Advisory Sanitarian)

Date Approved

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: \_\_\_\_\_

**PERMIT TO INSTALL OR REPAIR  
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS  
(VOID AFTER TWELVE (12) MONTHS)**

Owner F. A. CRAIG

Occupant Trailer Park

Exact Location of Premises US Route 57 1 1/2 miles west of Bassett  
(Subdivision, Street or Road Name, Section or Lot No.)

**OWNER DESIRES TO**

**INSTALL**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

Health Department recommends

**REPAIR**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

**FOR**

Dwelling  Other 8 (Trailer Park)  
 Actual or potential Bedrooms 1 Actual or estimated Water Consumption 2400 gal. per day Automatic Washing Machine  
 Yes  No Garbage Disposal unit  Yes  No  
 Additional wastes none

**DETAILS OF RECOMMENDED SYSTEMS**

(1) **WATER SUPPLY** Location to be approved by Sanitarian. Type  Drilled Well  Driven Well  Bored Well  Dug Well  
 Cased 4 feet. 4 PRECAST (Kind of Material)

Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump room floor. Grouted 4 feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

(2) **SOIL STUDY** Naturally drained, suitable by sight  Yes  No  
 Technical Classification

Rough Classification  Sandy  Medium  Clay  Pipe Clay. Percolation Test required  Yes  No. Rate Minutes per inch. Depth of Water Table 7 1/2 feet (Estimated)

Surface drainage required  Yes  No Area Drainage by Lowering Ground Water Table required  Yes  No

(3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of

4 PRECAST (Kind of Material) Inside Dimensions Length 8 feet.

Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 1 feet. Liquid Capacity 1000 gallons.

(4) **HOUSE SEWER LINE** Size 4 inches. Type of material required ~~4 x 12~~. Distance from Water Supply 200 feet.

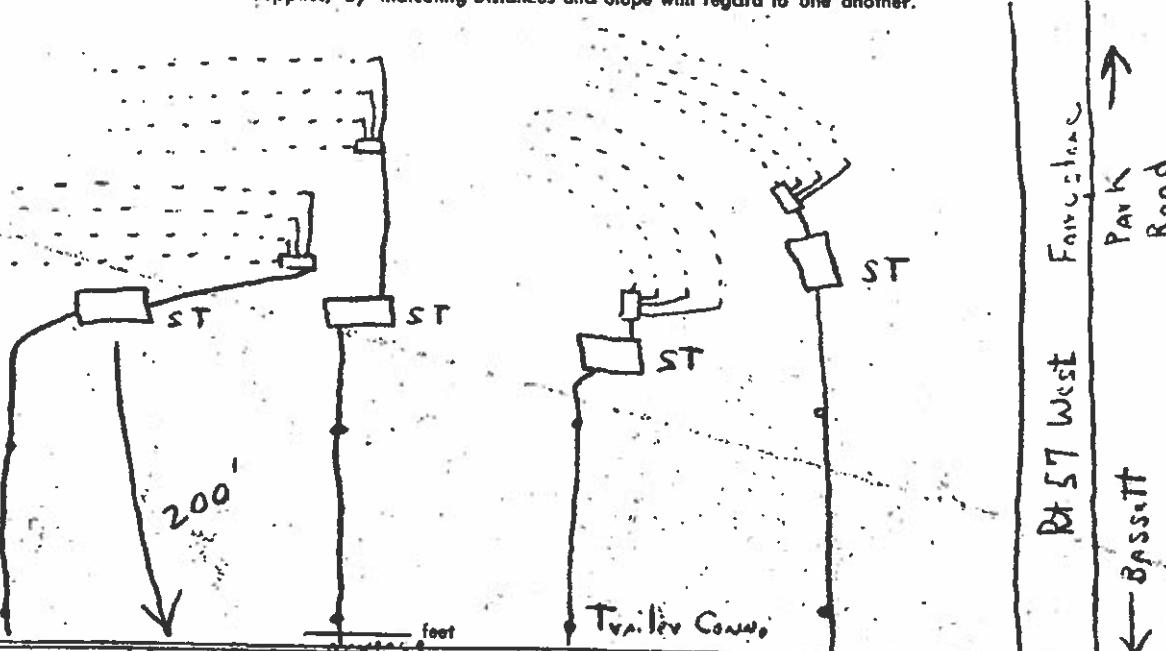
(5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required. Ditches of equal length required.

Number of square feet required 3200 Type aggregate required  Broken Stone  Gravel  Slag. Size range from  $\frac{1}{2}$  inches to  $2\frac{1}{2}$  inches. Depth of aggregate from base of tile to bottom of ditches 13 inches.

Total aggregate must equal minimum depth of 13 inches or more.

Soil Cover over tile not to exceed 30 inches. Distance from well to septic tank 200 feet; distance from well to drain tile field 200 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Health Comm. Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 3-23-65 Approved \_\_\_\_

LHS - 121 Rev. 1-65  
Virginia State Department of Health

(Reviewing Authority)

Date 3-23-65 Signed \_\_\_\_

Sanitarian or Health Director D. H. May

RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM *6-13-9*Date *6-30-65* Case No.Owner *F A CHMIG*

Address

*Rt 2 Box 97*

Phone

Occupant *Travis Park*

Address

(Mailing Address)

Phone

Exact Location of Premises

*SW. 57th above Box 97*

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer \_\_\_\_\_ feet. Distance to nearest Sewage Disposal System \_\_\_\_\_ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines *NA* feet. Trees *NA* feet. Water Supplies *NA* feet. Buildings *NA* feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  Other *NA*

(Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material *C 1780* Size *NA* Inches.

## (5) SEPTIC TANK

Constructed of *Prec. t.* (Kind of Material) Inside Dimensions Length *8* feet. Width *4* feet. Liquid Depth *4* feet. Depth of Air Space *1* inches. Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with \_\_\_\_\_ (Number) extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches *100* square feet. Number of ditches *4* Length of ditches *NA* feet. Grade of ditches Minimum *NA* inches per 100 feet. Maximum *NA* inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used *Gravel* Depth of aggregate under Tile \_\_\_\_\_ inches. Total depth of aggregate *12* inches. Depth of backfill over aggregate *15* inches.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.

(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor:

*Feltelle Concrete Products CO.* Address*Feltelle*

Phone

This Sewage Disposal System (Is) (Is Not) Approved by *Henry County*

Health Department

Date *6-30-65* Signed*NA*

Date

Approved

(Health Director)

Date Approved

(Advisory Sanitarian)

Date

Approved

(Reviewing Authority — Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

*Send job in count.*

**PERMIT TO INSTALL OR REPAIR  
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS  
VOID AFTER TWELVE (12) MONTHS**

Date 6-30-65 Case No.

Owner F A Craig Trail Park Address Bamfield Pt 2 Phone   
 Occupant Trail Park Address  Phone

Exact Location of Premises 576 on left above Bamfield 5 miles  
 (Subdivision, Street or Road Name, Section or Lot No.)

**OWNER DESIRES TO**

**INSTALL**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

**REPAIR**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

Health Department recommends

**FOR**

Dwelling  Other  
 Actual or potential Bedrooms \_\_\_\_\_  
 Consumption \_\_\_\_\_ gal. per day Automatic Washing Machine  
 Yes  No Garbage Disposal unit  Yes  No  
 Additional wastes

**2 Trailers**

**DETAILS OF RECOMMENDED SYSTEMS**

(1) **WATER SUPPLY** Location to be approved by Sanitarian. Type \_\_\_\_\_  
 Drilled Well  Driven Well  Bored Well  Dug Well  
 Other Existing Cased \_\_\_\_\_ feet.

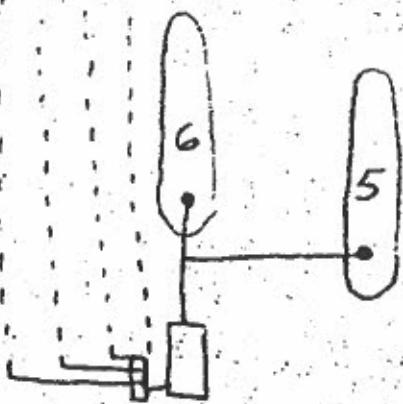
Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump room floor. Grouted \_\_\_\_\_ feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

(2) **SOIL STUDY** Naturally drained, suitable by sight  Yes  No  
 Technical Classification

Rough Classification  Sandy  Medium  Clay  Pipe  
 Clay. Percolation Test required  Yes  No. Rate  
 Minutes per inch. Depth of Water Table 20 feet  
 (Estimated)

Surface drainage required  Yes  No Area Drainage  
 by Lowering Ground Water Table required  Yes  No

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Henry C. C. Health Department, Phone 628-2211 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 6-30-65 Approved

IHS - 121 Rev. 1-65  
 Virginia State Department of Health

(Reviewing Authority)

Date 6-30-65 Signed RTS

(Sanitarian or Health Director)

## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

7-1-65

Date Case No.

Owner F. A. CRAIG

Address

Rt #2 Barnett

Phone

Occupant T. B. L. Park

Address

(Mailing Address)

Phone

Exact Location of Premises

52 W 5th St above Barnett

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer \_\_\_\_\_ feet. Distance to nearest Sewage Disposal System \_\_\_\_\_ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines 10 feet. Trees 25 feet. Water Supplies NA feet. Buildings 10 feet.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with \_\_\_\_\_ (Number) extra outlets for future use.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  Other None (Describe)

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 500 square feet. Number of ditches 4 Length of ditches 8 feet. Grade of ditches Minimum 2 Inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used C Depth of aggregate under Tile 12 inches Total depth of aggregate 13 inches Depth of backfill over aggregate 14 inches

## (8) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material C1 L80 Size 4 Inches.

(9) Are follow-up inspections necessary  Yes  No.

## (5) SEPTIC TANK

Constructed of Pre-cast (Kind of Material) Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 2 inches. Inside Fittings comply with requirements  Yes  No.

Septic Tank

Contractor: Feltile Con-c't Products CO. Address: Feltile

Phone

This Sewage Disposal System (Is) (Is Not) Approved by Henry Con

Health Department

Date 7-1-65 Signed Henry Con (Sanitarian)

Date Approved

(Health Director)

Date Approved (Advisory Sanitarian)

Date Approved

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

Good job, cont.

**TRIPPLICATE  
PERMIT TO INSTALL OR REPAIR  
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS  
VOID AFTER TWELVE (12) MONTHS**

Date 6-30-65

Case No. \_\_\_\_\_

Owner E. A. CRAIG

Address \_\_\_\_\_

(Mailing Address) \_\_\_\_\_

Phone \_\_\_\_\_

Occupant Travis Park

Address \_\_\_\_\_

(Mailing Address) \_\_\_\_\_

Phone \_\_\_\_\_

Exact Location  
of Premises

5765 Smiles for Bennett

(Subdivision, Street or Road Name, Section or Lot No.)

**OWNER DESIRES TO**

**INSTALL**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

Health Department recommends \_\_\_\_\_

**REPAIR**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

**FOR**

Dwelling  Other 2 Trav'lers  
 Actual or potential Bedrooms \_\_\_\_\_ Actual or estimated Water  
 Consumption \_\_\_\_\_ gal. per day Automatic Washing Machine  
 Yes  No Garbage Disposal unit  Yes  No  
 Additional wastes \_\_\_\_\_

**DETAILS OF RECOMMENDED SYSTEMS**

(1) **WATER SUPPLY** Location to be approved by Sanitarian. Type  
 Drilled Well  Driven Well  Bored Well  Dug Well  
 Other exist Cased \_\_\_\_\_ feet.

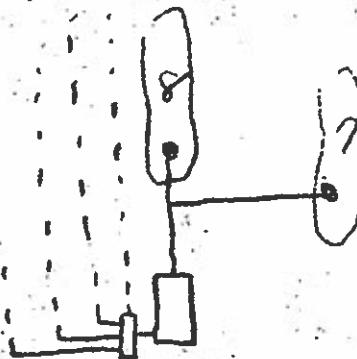
(3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of  
present Inside Dimensions Length 1 feet.  
 (Kind of Material)

Width 4 feet. Liquid Depth 4 feet. Depth of  
 Air Space 1 feet. Liquid Capacity 100 gallons.

(4) **HOUSE SEWER LINE** Size 4 inches. Type of material  
 required cl. Distance from Water Supply 50 feet.

(5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required.  
 Ditches of equal length required: 800 feet.  
 Number of square feet required: 800 Type aggregate  
 required  Broken Stone  Gravel  Slag. Size range from  
 $\frac{1}{2}$  inches to  $2\frac{1}{2}$  inches. Depth of aggregate from base of tile  
 to bottom of ditches 12 inches.  
 Total aggregate must equal minimum depth of 13 inches or more.  
 Soil Cover over tile not to exceed 3 inches. Distance from  
 well to septic tank 50 feet; distance from well to  
 drain tile field 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Health Dept. Health Department, Phone 628-1211 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date \_\_\_\_\_ Approved \_\_\_\_\_

IHS - 121 Rev. 1-65  
Virginia State Department of Health

(Reviewing Authority)

Date \_\_\_\_\_

Signed \_\_\_\_\_

(Sanitarian or Health Director)

# Sewage Disposal System Construction Permit

PAGE 1 OF 2

Commonwealth of Virginia  
Department of Health

Health Department



Health Department  
Identification Number 100-58-1000  
Map Reference 100-5

General Information	
New <input type="checkbox"/> Repair <input checked="" type="checkbox"/> Expanded <input type="checkbox"/> Conditional <input type="checkbox"/> FHA <input type="checkbox"/> VA <input type="checkbox"/> Case No. _____ Based on the application for a sewage disposal system construction permit filed in accordance with Section 3.13.01, a construction permit is hereby issued to: Owner <u>David C. Clegg, Jr., J.T. Clegg, Jr.</u> Telephone <u>679-5395X</u> Address <u>100 Park St. Basement</u> For a Type <u>septic</u> Sewage disposal system which is to be constructed on/at <u>524 Pinhook Rd.</u> <u>100 ft. from street</u> Subdivision <u>100-58-1000</u> Section/Block _____ Lot <u>5-6</u> Actual or estimated water use <u>750 GPD</u> ( <u>5 bed rooms, 2 bath</u> )	
DESIGN	NOTE: INSPECTION RESULTS
Water supply, existing: (describe) <u>private</u>	Water supply location: Satisfactory yes <input type="checkbox"/> no <input type="checkbox"/> comments
To be installed: class _____ cased _____ grouted _____	G. W. 2 Received: yes <input type="checkbox"/> no <input type="checkbox"/> not applicable <input checked="" type="checkbox"/>
Building sewer: _____ I.D. PVC 40, or equivalent. Slope 1.25" per 10' (minimum). <input type="checkbox"/> Other <u>none</u>	Building sewer: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Septic tank: Capacity _____ gals. (minimum). <input type="checkbox"/> Other <u>existing</u>	Pretreatment unit: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Inlet-outlet structure: _____ PVC 40, 4" tees or equivalent. <input type="checkbox"/> Other <u>existing</u>	Inlet-outlet structure: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Pump and pump station: _____ No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> describe and show design. if yes: _____	Pump & pump station: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Gravity mains: 3" or larger I.D., minimum 6" fall per 100', 1500 lb. crush strength or equivalent. <input checked="" type="checkbox"/> Other <u>5" HDPE</u>	Conveyance method: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Distribution box: _____ Precast concrete with <u>3</u> ports. <input type="checkbox"/> Other _____	Distribution box: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Header lines: _____ Material: 4" I.D. 1500 lb. crush strength plastic or equivalent from distribution box to 2' into absorption trench. Slope 2" minimum. <input type="checkbox"/> Other _____	Header lines: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Percolation lines: _____ Gravity 4" plastic 1000 lb. per foot bearing load or equivalent, slope 2" 4" (min. max.) per 100'. <input type="checkbox"/> Other _____	Percolation lines: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Absorption trenches: _____ Square ft. required _____: depth from ground surface to bottom of trench _____; aggregate size _____; Trench bottom slope _____; center to center spacing _____; trench width _____; Depth of aggregate _____; Trench length _____; Number of trenches _____	Absorption trenches: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Date _____ Inspected and approved by: <u>Sanitarian</u>	

Health Department  
Identification Number 141-88-0254

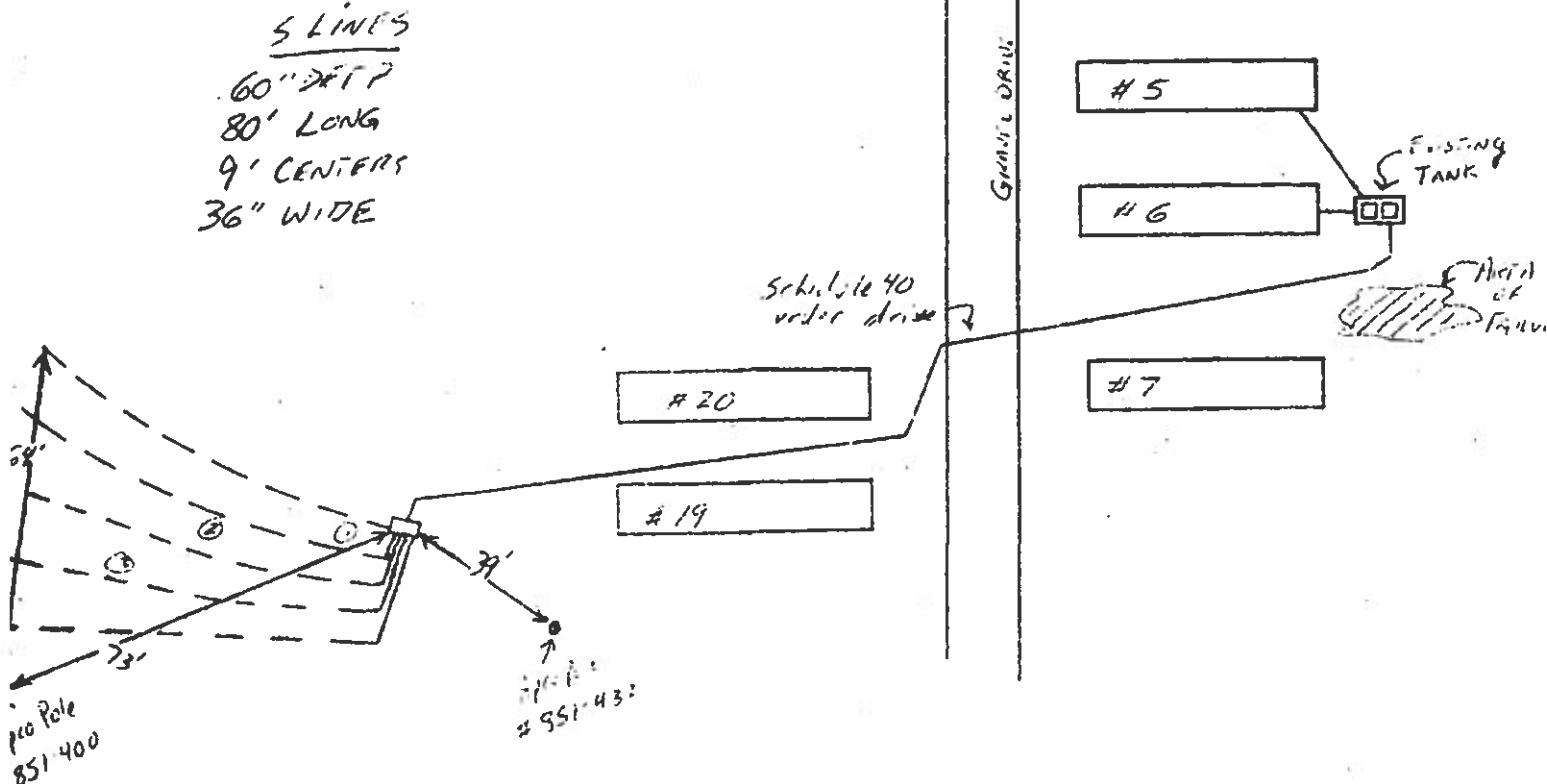
PAGE 2 OF 2

Schematic drawing of sewage disposal system and topographic features.

Show the lot lines of the building lot and building site, sketch of property showing any topographic features which may impact on the design of the system, all existing and/or proposed structures including sewage disposal systems and wells within 100 feet of sewage disposal system and reserve area. The schematic drawing of the sewage disposal system shall show sewer lines, pretreatment unit, pump station, conveyance system, and subsurface soil absorption system, reserve area, etc. When a nonpublic drinking water supply is to be located on the same lot show all sources of pollution within 100 feet.

Not to Scale

The information required above has been drawn on the attached copy of the sketch submitted with the application.  
Attach additional sheets as necessary to illustrate the design.



The sewage disposal system is to be constructed as specified by the permit  or attached plans and specifications .

This sewage disposal system construction permit is null and void if (a) conditions are changed from those shown on the application (b) conditions are changed from those shown on the construction permit.

No part of any installation shall be covered or used until inspected, corrections made if necessary, and approved, by the local health department or unless expressly authorized by the local health dept. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon the direction of the Department.

Date: 4-6-88 Issued by: P. S. Gatti  
Sanitarian

This Construction  
Permit Valid until  
4-6-88

Date: 4-6-88 Reviewed by: W. J. Smith  
Supervisory Sanitarian

If FHA or VA financing

Reviewed by Date \_\_\_\_\_ Date \_\_\_\_\_

Supervisory Sanitarian

Regional Sanitarian

# Sewage Disposal System Construction Permit

PAGE 1 OF 2

Commonwealth of Virginia  
Department of Health

Henry

Health Department



Health Department  
Identification Number  
Map Reference

104-95-0182  
13-9

## General Information

New  Repair  Expanded  Conditional  FHA  VA  Case No. \_\_\_\_\_  
Based on the application for a sewage disposal system construction permit filed in accordance with Section 3.13.01, a construction permit is hereby issued to:  
Owner Dorothy Williams - J.S. Williams Telephone 629-5958  
Address POB 1 Bassett, VA  
For a Type sewage disposal system which is to be constructed on/at 524.1 into 1a5 MHP

Subdivision 1a5 MHP Section/Block \_\_\_\_\_ Lot 7-8  
Actual or estimated water use 480 Total (600 600)

DESIGN		NOTE: INSPECTION RESULTS
Water supply, existing: (describe) <u>4X 5 ft. of public</u>		Water supply location: Satisfactory yes <input type="checkbox"/> no <input type="checkbox"/> comments
To be installed: class cased _____ grouted _____		G. W. 2 Received: yes <input type="checkbox"/> no <input type="checkbox"/> not applicable <input checked="" type="checkbox"/>
Building sewer: <u>Existing</u> I.D. PVC 40, or equivalent. Slope 1.25" per 10' (minimum). <input type="checkbox"/> Other _____		Building sewer: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Septic tank: Capacity <u>existing</u> gals. (minimum). <input type="checkbox"/> Other _____		Pretreatment unit: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Inlet-outlet structure: PVC 40, 4" tees or equivalent. <input type="checkbox"/> Other <u>legal all outlet</u>		Inlet-outlet structure: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Pump and pump station: No <input type="checkbox"/> Yes <input type="checkbox"/> describe and show design. If yes: _____		Pump & pump station: yes <input type="checkbox"/> no <input checked="" type="checkbox"/> comments Satisfactory
Gravity mains: 3" or larger I.D., minimum 6" fall per 100', 1500 lb. crush strength or equivalent. <input type="checkbox"/> Other _____		Conveyance method: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Distribution box: Precast concrete with <u>6-8</u> ports. <input type="checkbox"/> Other _____		Distribution box: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Header lines: Material: 4" I.D. 1500 lb. crush strength plastic or equivalent from distribution box to 2' into absorption trench. Slope 2" minimum. <input type="checkbox"/> Other _____		Header lines: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Percolation lines: Gravity 4" plastic 1000 lb. per foot bearing load or equivalent, slope 2" 4" (min. max.) per 100'. <input type="checkbox"/> Other _____		Percolation lines: yes <input type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Absorption trenches: Square ft. required <u>1206</u> : depth from ground surface to bottom of trench <u>46"</u> ; aggregate size <u>5-1.5"</u> : Trench bottom slope <u>2-1"</u> ; <u>100</u> center to center spacing; trench width <u>36"</u> : Depth of aggregate <u>13"</u> : Trench length <u>100</u> ; Number of trenches <u>4</u>		Absorption trenches: yes <input checked="" type="checkbox"/> no <input type="checkbox"/> comments Satisfactory
Date <u>4-28-15</u> Inspected and approved by: <u>Roger May</u> Sanitarian		

Health Department  
Identification Number

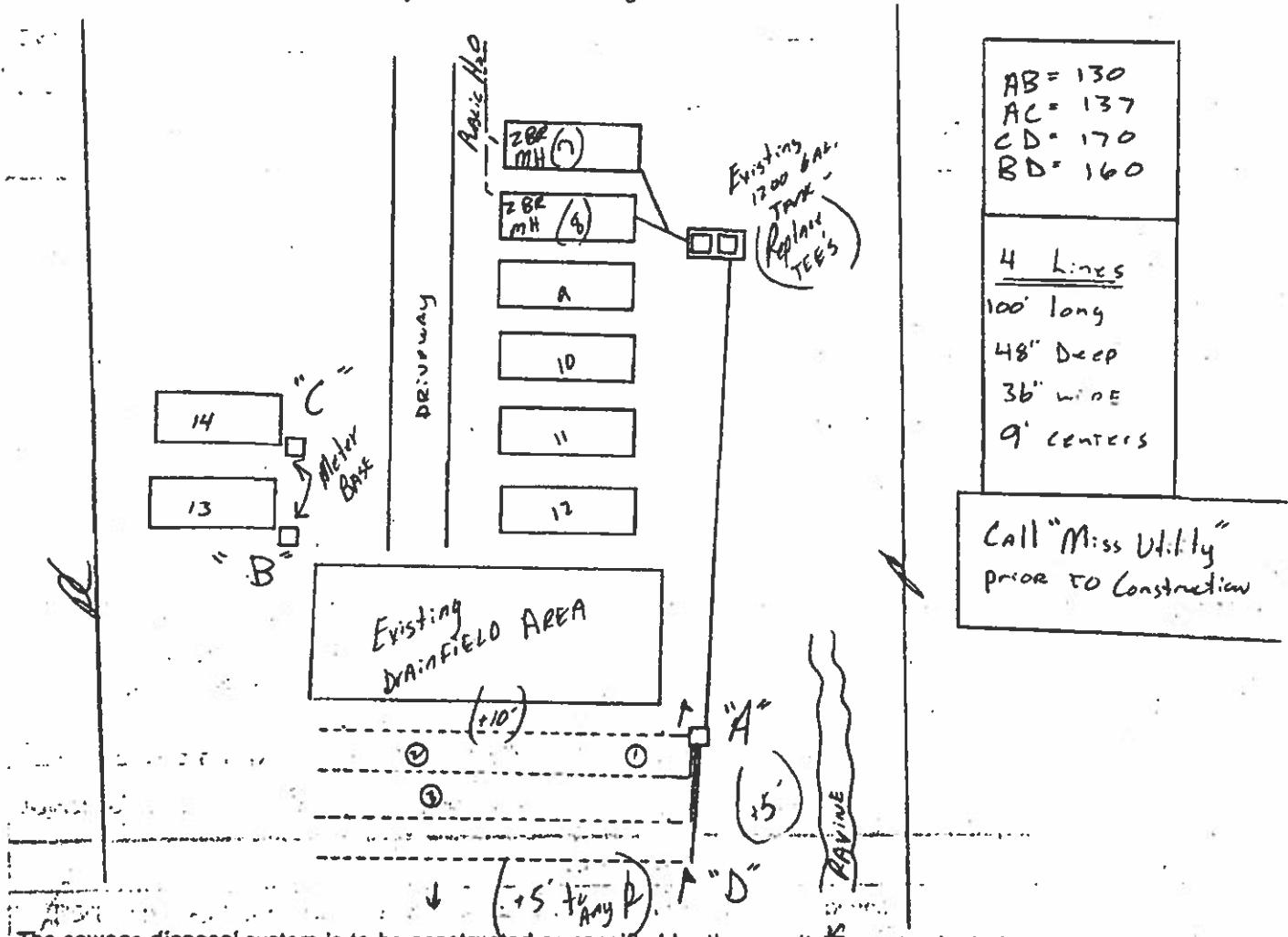
144-95-0182

PAGE 2 OF 2

## Schematic drawing of sewage disposal system and topographic features.

Show the lot lines of the building lot and building site, sketch of property showing any topographic features which may impact on the design of the system, all existing and/or proposed structures including sewage disposal systems and wells within 100 feet of sewage disposal system and reserve area. The schematic drawing of the sewage disposal system shall show sewer lines, pretreatment unit, pump station, conveyance system, and subsurface soil absorption system, reserve area, etc. When a nonpublic drinking water supply is to be located on the same lot show all sources of pollution within 100 feet.

The information required above has been drawn on the attached copy of the sketch submitted with the application. Attach additional sheets as necessary to illustrate the design.



The sewage disposal system is to be constructed as specified by the permit  or attached plans and specifications  .

This sewage disposal system construction permit is null and void if (a) conditions are changed from those shown on the application (b) conditions are changed from those shown on the construction permit.

No part of any installation shall be covered or used until inspected, corrections made if necessary, and approved, by the local health department or unless expressly authorized by the local health dept. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon the direction of the Department.

Date: 4-26-95 Issued by: Roger A. Marcy

Date: 4-27-95 Sanitarian

Reviewed by: John W. Wigglesworth Supervisory Sanitarian

This Construction  
Permit Valid until  
10-26-96

If FHA or VA financing

Reviewed by Date

Supervisory Sanitarian

Date

Regional Sanitarian

## RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

Date 13-9

Date 8-12-65

Case No.

Owner F. A. CRAIG

Address Bassett

(Mailing Address) RFD

Phone

Occupant Trailor Park

Address

(Mailing Address)

Phone

Exact Location of Premises

57 place Bassett on left

(Subdivision, Street or Road Name, Section or Lot No.)

## WATER SUPPLY INSPECTION

Installed according to Permit Design  Yes  No. Distance to nearest House Sewer \_\_\_\_\_ feet. Distance to nearest Sewage Disposal System \_\_\_\_\_ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

## SEWAGE DISPOSAL SYSTEM INSPECTION

## (1) LOCATION

Allotted Area adequate  Yes  No. Distance from nearest lot lines 14 feet. Trees 16 feet. Water Supplies 50 feet. Buildings 14 feet.

## (2) INSTALLATION AND DESIGN

Installed according to Permit Design  Yes  No. Have additional Household Appliances been added NOT on Permit:  Automatic Washer  Garbage Disposal  Other (Describe)

## (3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed:  Yes  No. If Yes, show adjustments required under "Remarks" below.

## (4) HOUSE SEWER LINE

Installed  Yes  No. Type of material C 18. Size 4 inches.

## (5) SEPTIC TANK

Constructed of 2 Plastic (Kind of Material) Inside Dimensions Length 8 feet. Width 8 feet. Liquid Depth 4 feet. Depth of Air Space 1 inches. Inside Fittings comply with requirements  Yes  No.

## (6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test  Yes  No. Distribution Box provided with \_\_\_\_\_ (Number) extra outlets for future use.

## (7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 1600 square feet. Number of ditches 8 Length of ditches 50 feet. Grade of ditches Minimum 7 inches per 100 feet Maximum 4 inches per 100 feet. Has system been checked by instruments (Level)  Yes  No. Type aggregate used Gravel Depth of aggregate under Tile 6 inches Total depth of aggregate 17 inches Depth of backfill over aggregate 15 inches

## (8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field:  Yes  No. Was Surface Drainage required  Yes  No. If Yes, has this been provided  Yes  No. Has area been drained by lowering Ground Water Table:  Yes  No.  Not required.

(9) Are follow-up inspections necessary  Yes  No.

Septic Tank Contractor:

F. A. Craig Concrete Products Co.

Address

F. A. Craig

Phone

This Sewage Disposal System (Is) (Is Not) Approved by Henry County

Health Department

Date 8-12-65 Signed M. A. Craig (Sanitarian)

Date Approved

(Health Director)

Date Approved (Advisory Sanitarian)

Date Approved

(Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: good job cont.

**PERMIT TO INSTALL OR REPAIR  
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS  
(VOID AFTER TWELVE (12) MONTHS)**

Date 8-13-65 Case No. 6

Owner F. A. Craig Address Box 57, RR 1, Box 57 Phone   
 Occupant Trails Park Address  (Mailing Address) Phone   
 Exact Location of Premises 57 along Basnett on left (Subdivision, Street or Road Name, Section or Lot No.)

**OWNER DESIRES TO**

**INSTALL**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

**REPAIR**  
 Water Supply System  
 Sewage Disposal System  
 Septic Tank

Health Department recommends

**FOR**

Dwelling  Other 4 trailers  
 Actual or potential Bedrooms  Actual or estimated Water Consumption  gal. per day Automatic Washing Machine  
 Yes  No Garbage Disposal unit  Yes  No  
 Additional wastes

**DETAILS OF RECOMMENDED SYSTEMS**

(1) **WATER SUPPLY** Location to be approved by Sanitarian. Type 2 Drilled Well  Driven Well  Bored Well  Dug Well Cased 8 feet. Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump room floor. Grouted 4 feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

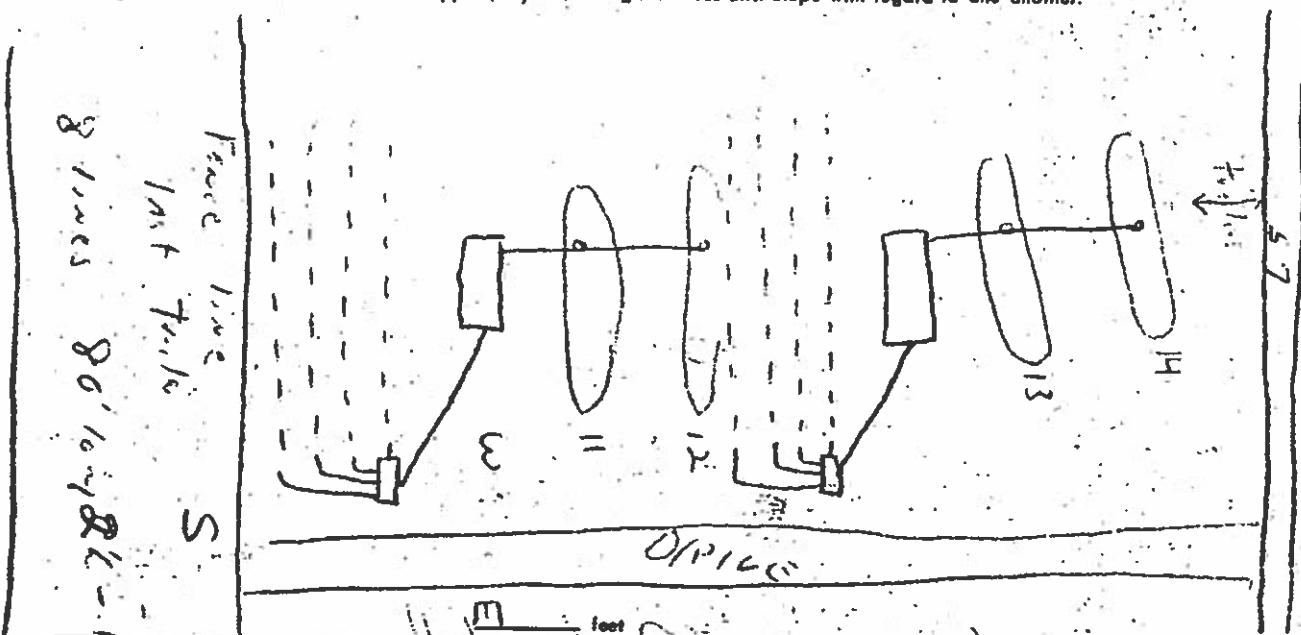
(2) **SOIL STUDY** Naturally drained, suitable by sight  Yes  No. Technical Classification . Rough Classification  Sandy  Medium  Clay  Pipe Clay. Percolation Test required  Yes  No. Rate Minutes per inch. Depth of Water Table 10 feet (Estimated). Surface drainage required  Yes  No Area Drainage by Lowering Ground Water Table required  Yes  No

(3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of 2 Pre-cast. Inside Dimensions Length 8 feet. (Kind of Material) Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 0.1 feet. Liquid Capacity 1000 gallons.

(4) **HOUSE SEWER LINE** Size 4 inches. Type of material required concrete. Distance from Water Supply 50 feet.

(5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required. Ditches of equal length required. Number of square feet required 1600. Type aggregate required  Broken Stone  Gravel  Slag. Size range from  $\frac{1}{2}$  inches to  $2\frac{1}{2}$  inches. Depth of aggregate from base of tile to bottom of ditches 6 inches. Total aggregate must equal minimum depth of 13 inches or more. Soil Cover over tile not to exceed 3 inches. Distance from well to septic tank 50 feet; distance from well to drain tile field 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, showing location of Lat. Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Henry County Health Department, Phone 608-2111 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 8-12-65 Approved   
 IHS-121 Rev. 1-65  
 Virginia State Department of Health

(Reviewing Authority)

Date 8-12-65 Signed Harold A. Craig  
 (Sanitarian or Health Director)



Protecting You and Your Environment

Henry-Martinsville Health Department  
295 Commonwealth Blvd.,  
P.O. Box 1032  
Martinsville, Virginia 24114  
(276) 638-2311 Voice  
(276) 638-3537 Fax

## Septic Tank - Soil Absorption System Repair Permit

Health Department ID Number: 144 05 0071

<b>Owner/Agent Information</b>	
Owner: Tim Moore 5565 Stones Dairy Rd. Bassett, Virginia 24055 Owner Phone: (276) 629-8274	
<b>Location Information</b>	
Property Address: 78 Spruce Pine Lane      Tax Map: 13-9 Locality: Henry Directions: 57 West. :Left Spruce Pine Lane, into Craig's MHP Lot 78 on right	
<b>General Information</b>	
System Type: septic tank effluent and drainfield Type of Property: Residential	Daily Flow: 600 gallons Number of Bedrooms: 4 maximum
<b>Sewer Line</b> 3" or 4" Sch. 40 PVC or equivalent (cleanouts required at 50' to 60' intervals)	<b>Distribution Box Information</b> No. of Boxes: 1 No. of Outlets: 6
<b>Conveyance Line/Force Main Information</b> Method: Gravity Distribution Box Material: Minimum crush strength 1500# Pipe Diameter: 4" Slope: only for non-pump - 6" per 100'	<b>Header Line Information</b> ASTM F405 pipe or better (1500 # crush or equivalent) Minimum slope 2" per 100'
<b>Septic Tank - Inlet/Outlet Structure</b> Capacity: 1200 gallons existing The inlet structure shall be 1-2 inches higher than the outlet structure and shall extend 6-8 inches below and 8-10 inches above the normal liquid level. The outlet structure shall extend 35-40% below the normal liquid level and 8-10 inches above the normal liquid level. To comply with the maintenance requirements of 12 VAC 5-610-817 the septic tank must be provided with one of the following three options: 1) Inspection port, 2) Effluent filter, 3) Reduced maintenance tank	<b>Percolation Lines and Absorption Area</b> Slope: 2-4" per 100' Percolation lines: 4" diameter Center to Center Spacing: 9' Installation Depth: 60" Depth of Aggregate: 24", Size of aggregate: 0.5-1.5" Total Number of Laterals: 3 Laterals to be 100' long, x 3' wide Install 900 Square Feet Total Reserve area required:
<b>Please Note:</b> All excavations must comply with OSHA safety regulations. Divert roof drains and surface water from drainfield area. Drainfield shall be 5' minimum from property boundaries, 10' minimum from building foundations, and 20' minimum from below grade basements. Driveways and parking areas shall not be constructed over the distribution box unless adequate structural protection is provided and access provisions are made. Driveways and parking areas shall not be constructed over the drainfield unless the top of the gravel is deeper than 30 inches and the driveway is paved with Portland cement or bituminous concrete. Remove all maple trees and other hydrophylic (water loving) plants from within 10' of drainfield area. Repair System: Substituted systems are not allowed. Water Supply = connection to public water system. Utilized all available area for septic repair.	

# Construction Drawing

HD ID #: 144 05 0071

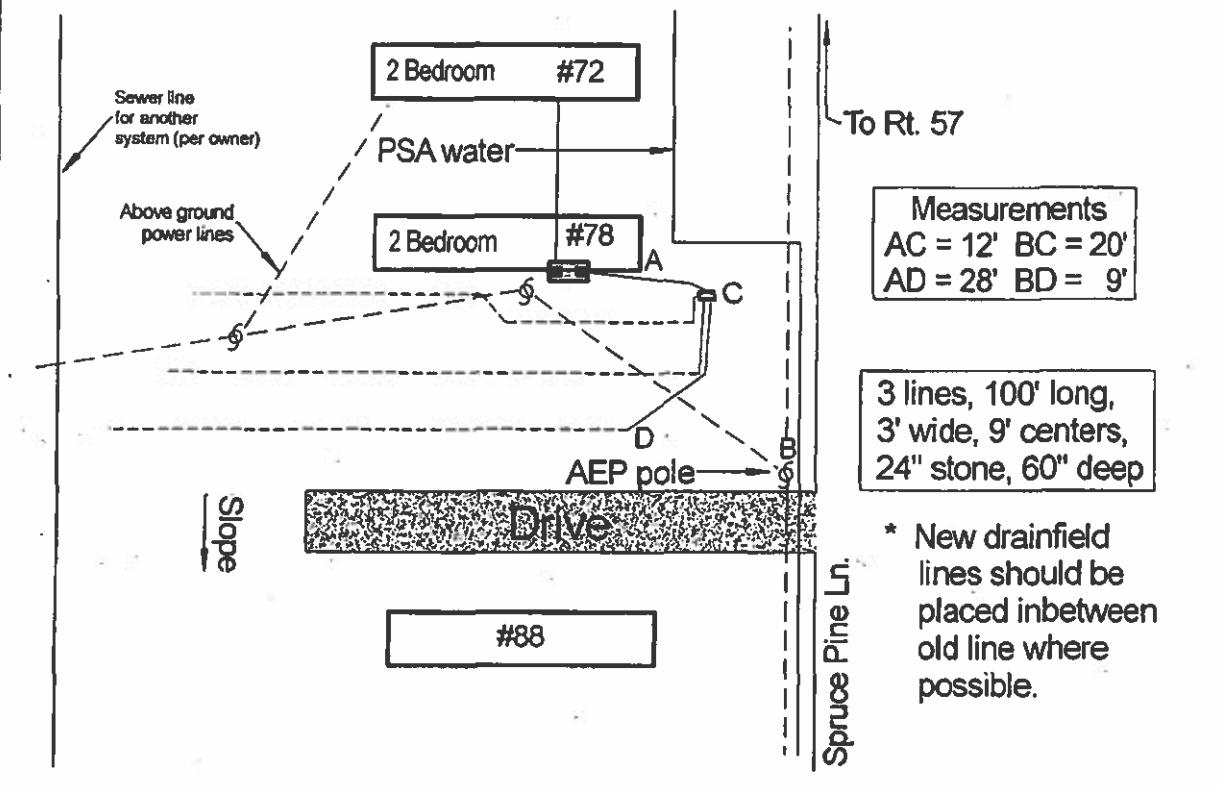
## Owner Information

Tim Moore  
5565 Stones Dairy Rd.  
Bassett, Virginia 24055

Phone: (276) 629-8274

## Construction Drawing

Schematic drawing of sewage disposal system and topographic features.



This sewage disposal system construction permit is null and void if conditions are changed from those shown on the application or construction permit. No part of any installation may be covered or used until inspected, corrections made if necessary and the system is approved. The inspection will normally be made by the system designer, who may be an AOSE, PE, or EHS. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon direction of the Department or the system designer.

System Design By: Robert K. Snead ; Site Evaluation By: Robert K. Snead

  
Robert K. Snead

March 22, 2005  
Issue Date

September 22, 2006  
Expiration Date