



Blue Ridge Land & Auction Co., Inc

Online Auction Bidders Agreement

Buyer agrees to immediately enter into the Real Estate Auction Purchase Contract approved by Seller, if declared the high bidder (winning bidder) by the auctioneer during the following auction:

AUCTION FOR – Zachary Nolen

AUCTION LOCATION – Online at www.BlueRidgeLandandAuction.HiBid.com

AUCTION DATE – Tuesday, April 21st, 2026 at 4 PM

*** Bids at 4 PM extend auction 2 minutes, and each bid during extension(s) restart 2-minute extension

See Paragraph 16 that addresses the **“SOFT CLOSE”**.

AUCTIONEER – Matt Gallimore (Broker/Auctioneer) of Blue Ridge Land & Auction Co. located at 102 S. Locust St., Floyd, VA 24091 (540-745-2005) has contracted with “Seller” to offer to sell at public auction certain real property.

REAL ESTATE SALESPERSON – Darin Greear (Real Estate Salesperson) of Long & Foster - Blacksburg located at 3601 Holiday Lane, Blacksburg VA 24060 (540-320-5859) has contracted with “Seller” to offer to sell at public auction certain real property.

OFFERING –

Legally described as:

+/- 8.58 acres and Improvements; Tax Map #: 13.9(0000)000 /097E; PID #: 798; L2200/04882

Address:

15 Spruce Pine Ln., Bassett, VA 24055

- **Online Bidding Open NOW**
- **Online Bidding Closes on Tuesday, April 21st, 2026 at 4 PM (EST)**

Bidder agrees that they have read and fully understand the Online Auction Bidders Agreement and the Terms and Conditions of this auction.

It is solely bidders’ responsibility to contact the auction company at (540) 745-2005 with any questions regarding the auction, purchase agreement, or terms & conditions, prior to placing any bids in said auction.

Online Auction Terms & Conditions

- 1) **Seller Confirmation Auction:** The property is being offered in an Online Only Auction, with all bids being subject to the Seller's approval. This means that this auction is subject to a seller's reserve, which means that if the reserve is not met, the seller is not required to sell the property.
- 2) **Bidding Registration:** Online bidder hereby agrees that they must be properly registered for the online auction. If you need assistance with registration, contact **Kaitlyn Harman at (540) 745-2005 or by email at BlueRidgeLandandAuction@gmail.com**. Seller(s) may at their sole discretion request additional registration requirements from any bidder unknown to them or the auction company.
- 3) **Bidding Opens/Closes:** The Online Only Auction bidding shall be opened and begin closing on the dates and times stated above, subject to the soft close feature as outlined below in (#16).
- 4) **Property Preview Dates:** It is highly recommended that all bidders personally inspect the property prior to placing any bids in the auction. Property inspections are the sole responsibility of the bidders. The property may also be inspected by scheduling an appointment with the Auction Company at (540) 745-2005 or Auctioneer Matt Gallimore at (540) 239-2585.
- 5) **No Financing Contingency:** By participating in this auction, bidders hereby agree that their bid shall **NOT** be subject to the bidder's ability to obtain financing. Financing is NOT a contingency in the purchase agreement. However, if a bidder decides to purchase property with a loan, they should make sure they are approved for a loan and that lender is capable of completing on or before closing date.
- 6) **Buyer's Premium: A Ten Percent (10%)** Buyer's Premium shall be added to the final bid price place online, which will determine the Total Contract Sales Price. Bidders hereby understand that the Buyer's Premium shall be added to the winning bid to create the Total Contract Sales Price for which they are obligated to pay for the property. **Example:** (winning online bid \$100,000 + 10% buyer's premium = total purchase price of \$110,000).
- 7) **Purchase Contract:** Winning bidder hereby agrees to enter into the Real Estate Auction Purchase Contract which has been approved by the Seller, immediately upon being declared the Successful Bidder by the Auctioneer. Upon the close of the auction the winning bidder will be forwarded via email an Auction Real Estate Sales Contract to purchase the property. A signed copy of the Auction Real Estate Sales Contract must be received by **United Country | Blue Ridge Land and Auction** no later than 24 hours from the time said Purchase Contract was sent to the winning bidder. The Auction Real Estate Sales Contract may be e-signed, hand delivered, faxed, or scanned and emailed. A sample purchase contract is available for review online prior to placing any bids in the auction.

- 8) **Earnest Money Deposit:** A \$5,000 non-refundable deposit will be wire transferred or hand delivered in the form of certified funds to United Country | Blue Ridge Land and Auction no later than 48 hours following the close of auction. See closing agents contact information below. The balance of the purchase price will be due in full at closing.
- 9) **Closing:** Closing shall be on or before **Monday, June 22nd, 2026**. Buyers will be afforded the opportunity to close via email, mail, and wire transfer of certified funds.
- 10) **Easements:** The sale of the property is subject to any and all easements of record.
- 11) **Survey:** No survey is required to transfer title to the property and the Seller shall not provide any additional survey. If the Buyer desires a survey, it shall be at the Buyer's sole expense and shall not be a contingency or requirement in the purchase contract.
- 12) **Possession:** Possession of the property will be given upon payment in full of the purchase price and transfer of title, at closing.
- 13) **Deed:** Seller shall execute a general warranty deed conveying the property to the buyer(s).
- 14) **Taxes:** Seller shall pay any previous year's taxes (if due), and the current year's real estate taxes shall be prorated to the date of closing.
- 15) **Online Auction Technology (Disclaimer):** Under no circumstances shall Bidder have any kind of claim against United Country – Blue Ridge Land and Auction, Broker of record, or anyone else, if the Internet service fails to work correctly before or during the auction. Online bidding is subject to technology faults and issues which are outside the control of the auction company. Bidder(s) are encouraged to use the "Maximum Bid" feature on the bidding platform and lock in their maximum bid amount if they are concerned about technology failure during the auction. The SELLER and/or Auction Company reserves the right to **(pause)** the online auction bidding in the event of any internal or external technology failure, to preserve the integrity of the auction event and maintain a fair and impartial bidding environment.
- 16) **Soft Close:** If a bid is received within the last 2 minutes of the auction, the auction close time will automatically extend 2 minutes to allow other bidders an opportunity to competitively bid prior to the auction closing. This feature eliminates "snipers" and encourages fair and impartial bidding from all participants.
- 17) **Disclaimer:** All information provided is believed to be accurate; however, no liability for its accuracy, errors or omissions is assumed. All lines drawn on maps, photographs, etc. are approximate. Buyers should verify the information to their satisfaction. Information is subject to change without notice. There are no warranties either expressed or implied

pertaining to this property. Real estate is being sold "As-Is, Where-Is" with NO warranties expressed or implied. Please make all inspections and have financing arranged prior to the end of bidding.

18) Bidding Disclosures:

- a. The Auctioneer is allowed to bid on behalf of the Seller up to, but not beyond the Seller's reserve price (if applicable). This auction is subject to a seller's reserve and this is allowed per Virginia auction code: 18 VAC 25-21-120.
- b. The property is available for and subject to sale prior to auction.
- c. By participating in this auction, Buyers hereby acknowledge that any bid(s) placed by them is a binding agreement to purchase the property, subject to the bid being approved by Seller (if applicable).

19) Broker Referral Fee: A Broker Referral Fee of 2% (of the High Bid Price) is offered to VA State Licensed Real Estate Brokers or Salesperson under the following conditions: Referring Agent must contact the Auction company and submit a Broker Participation Form signed by the buyer at least 48 hours prior to auction date. Form must be submitted via email to BlueRidgeLandandAuction@gmail.com. If these steps have not been completed, a broker referral fee will not be paid.

20) Pre-Auction Sales: As an agent for the Seller, the Auctioneer must present any and all bona fide written offers to the Seller, which may be created outside of the online bidding platform. Therefore, all properties are subject to pre-auction sales. Pre-auction offers must meet all off the auction terms and conditions and must be submitted to the Auctioneer on the Auction Real Estate Sales Contract, along with the required earnest deposit. Properly submitted offers will be presented to the Seller in a timely manner. Seller may accept or reject such offer at their sole and absolute discretion. When a pre-auction offer is submitted, all properly registered online bidders will be notified that "an offer" has been submitted and on which specific property, however the amount of the offer shall remain confidential. All pre-auction offers must allow a minimum of 24 hours for seller's acceptance. A Broker Referral Fee of 2% (of High Bid Price) is offered to a cooperating VA State Licensed Real Estate Broker or Salesperson on any pre-auction offers that are properly completed and submitted on the appropriate forms provided by the auction company.

20) Auction is subject to VA Statute 55.1-1308.2.

§ 55.1-1308.2. Notice of intent to sell.

A. A manufactured home park owner who offers or lists the park for sale to a third party shall provide written notice containing the date on which the notice is sent and the price for which the park is to be offered or listed for sale. Such notice shall be sent to the Department of Housing and Community Development, which shall make the information available on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park, in accordance with § 55.1-1202,

at least 90 days prior to accepting an offer. A manufactured home park owner shall consider any offers to purchase received during such 90-day notice period. For purposes of this section, "third party" does not include a member of the manufactured park owner's family by blood or marriage or a person or entity that owns a portion of the park at the time of the offer or listing of such manufactured home park. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after the written notice provided in this section.

B. If a manufactured home park owner receives an offer to purchase the park, acceptance of that offer shall be contingent upon the park owner sending written notice of the proposed sale and the purchase price in the real estate purchase contract at least 60 days before the closing date on such purchase contract to the Department of Housing and Community Development, which shall place the information on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park. During the 60-day notice period, the park owner shall consider additional offers to purchase the park made by an entity that provides documentation that it represents at least 25 percent of the tenants with a valid lease in the manufactured home park at the time any such offer is made, but shall not be obligated to consider additional offers after the expiration of the 60-day notice period. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after provision of the written notice required by this section. More information on the code can be found at: <https://law.lis.virginia.gov/vacode/title55.1/chapter13/section55.1-1308.2/>

C. All mobile homes located on the property are owned by the tenants, not the park owner. Therefore, mobile home titles will not be transferred to purchaser. Additionally, purchaser acknowledges that there may be limitations or regulations that prohibit the relocation / removal of mobile homes from property. Bidder acknowledges that information on manufactured homes is limited to physical exterior inspection and that the seller does not possess titles to the mobile homes. Inspection of mobile homes is only relevant to ascertain overall appeal of mobile home park.

Matt Gallimore – United Country Blue Ridge Land and Auction
Owner, Real Estate Broker, Auctioneer, MBA
102 South Locust Street; PO Box 234
Floyd, VA 24091
540-239-2585
Gallimore.Matt@gmail.com

Individual State License #'s

Virginia Auctioneer License #	2907004059
Virginia Real Estate Broker License #	0225062681
North Carolina Auctioneer License #	10250
North Carolina Real Estate Broker License #	311692
Tennessee Auctioneer License #	7095
Tennessee Real Estate Broker License #	350819
South Carolina Auctioneer License #	4757
South Carolina Real Estate Sales Person License #	139344
Florida Real Estate Sales Person License #	SL3618959
Florida Auctioneer License #	AU5414

Firm State License #'s

Virginia Auction Firm License #	2906000294
Virginia Real Estate Firm License #	0226000240
North Carolina Auction Firm License #	10299
North Carolina Real Estate Firm License #	C35716
Tennessee Real Estate Firm License #	263941
South Carolina Auction Firm License #	4208

Darin Greear – Long & Foster - Blacksburg
Real Estate Salesperson
3601 Holiday Lane
Blacksburg VA 24060
540-320-5859
Darin.Greear@longandfoster.com

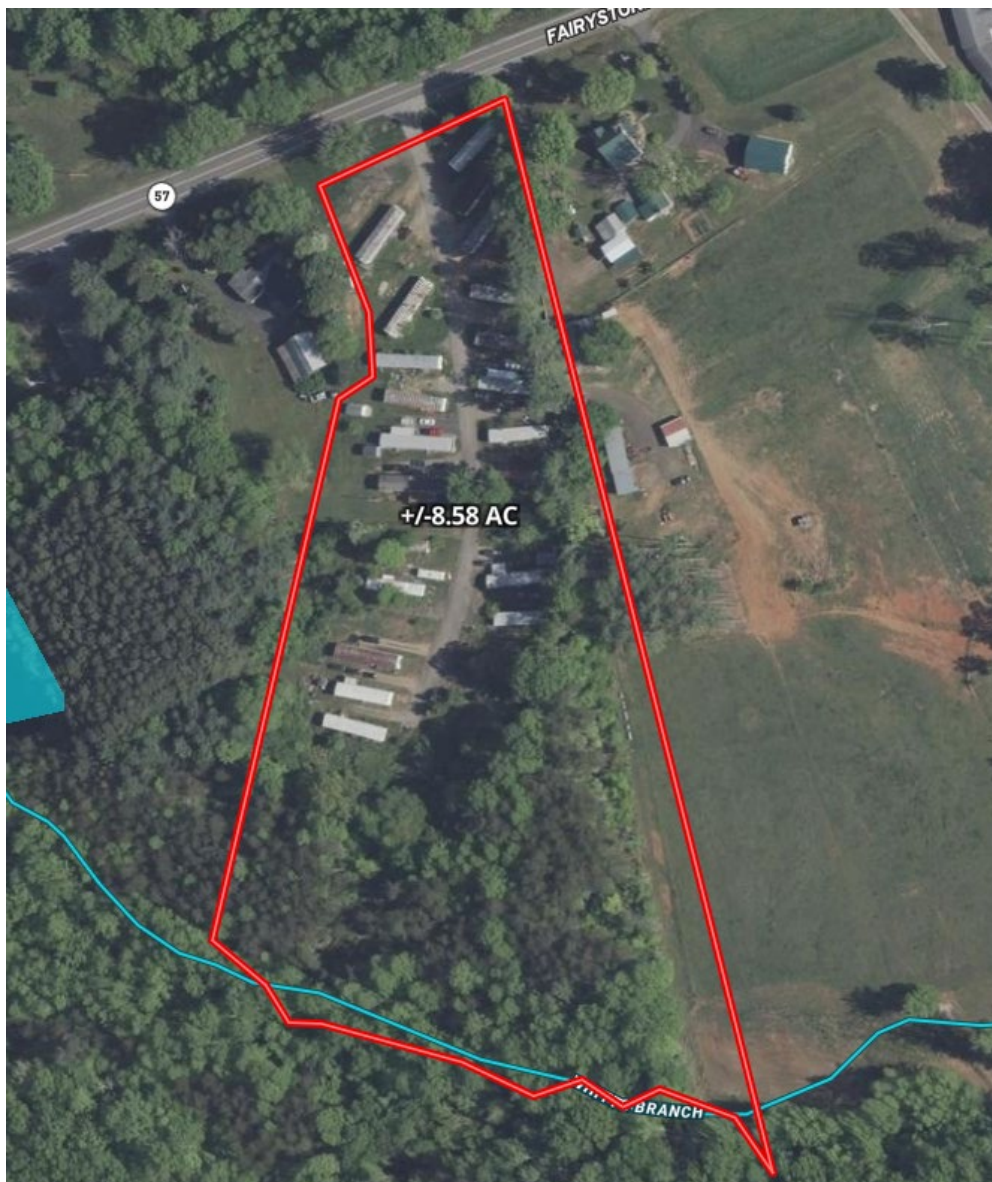
Individual State License #'s

Virginia Real Estate Salesperson #	0225086131
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Aerial

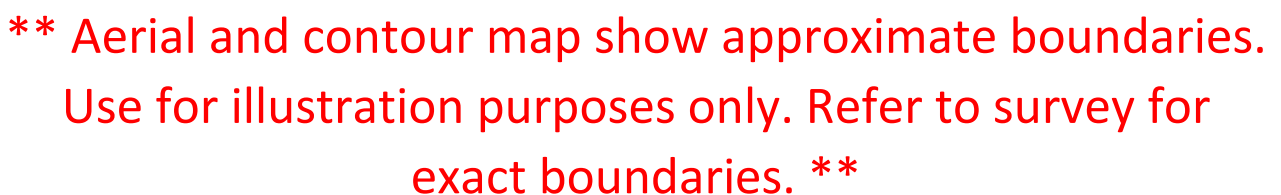
Aerial is dated. Since the aerial photo was taken, 14 mobile homes have been demolished and removed. The property has been drastically cleaned up since.



**** Aerial and contour map show approximate boundaries. Use for illustration purposes only. Refer to survey for exact boundaries. ****



Contour is dated. Since the contour photo was taken, 14 mobile homes have been demolished and removed. The property has been drastically cleaned up since.





Neighborhood

15 Spruce Pine Ln.

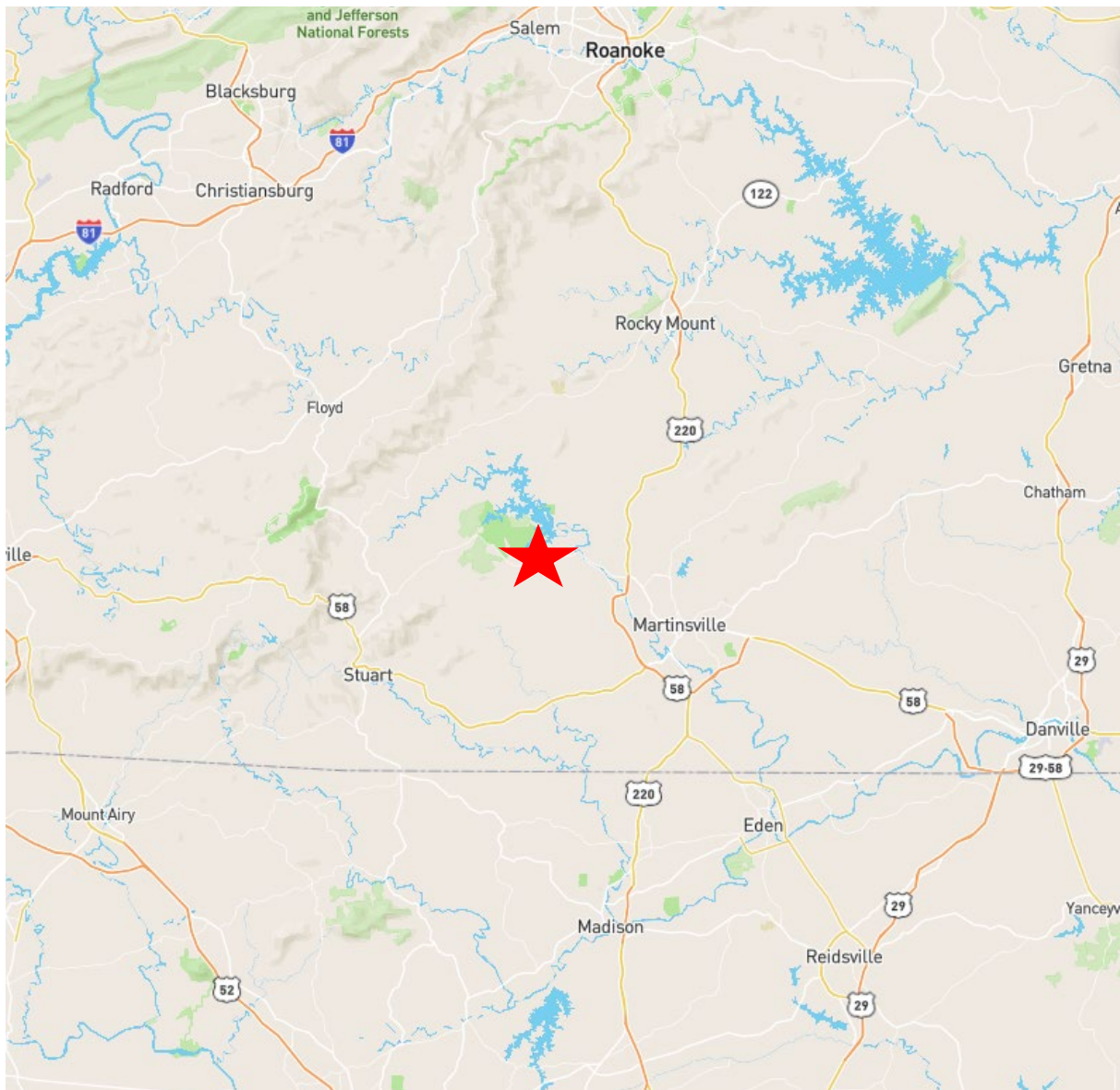
Bassett, VA 24055





Location

15 Spruce Pine Ln.
Bassett, VA 24055





PLAT APPROVAL **EXEMPTION CATEGORY** Survey of Existing Line First Cut Lot Line Adjustment Sale Road Frontage SD Family SD

CODE COMPLIANCE CONFIRMED

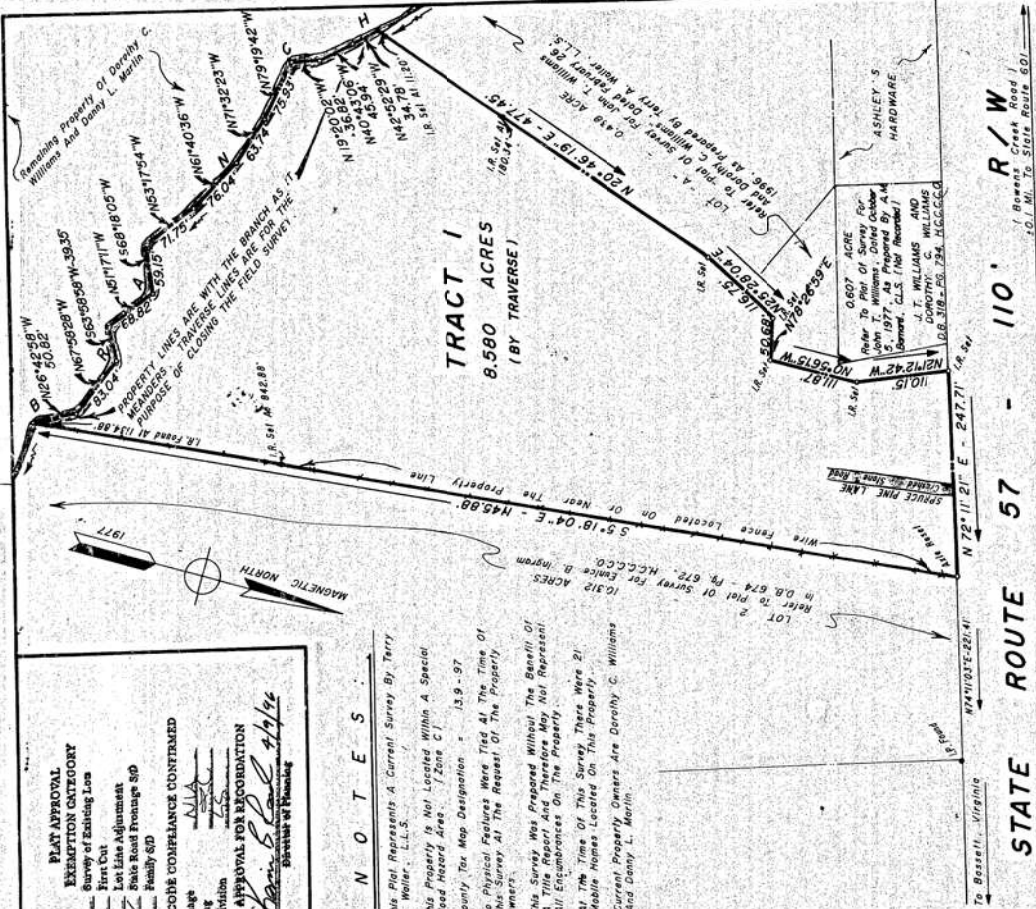
Deed
 Zoning
 Subdivision
 ALA
 15

APPROVAL FOR RECORDATION

Handwritten signature and date: 4/9/96
 Director of Planning

NOTES

This Plat Represents A Current Survey By Terry A. Waller, L.L.S.
 This Property Is Not Located Within A Special Flood Hazard Area. (Zone C)
 County Tax Map Designation: 13.9-97
 No Physical Features Were Tied At The Time Of This Survey At The Request Of The Property Owner.
 This Survey Was Prepared Without The Benefit Of A Title Report And It Is Not Represented That All Easements On The Property
 At The Time Of This Survey There Were 21 Mobile Homes Located On This Property.
 Current Property Owners Are Dorothy C. Williams And Denny L. Morlin



STATE ROUTE 57 - 110' R/W

PLAT OF THE SURVEY

CRAIG MOBILE HOME PARK

Showing Property Situated On The Southern Side Of State Route 57, Blackberry District, Henry County, Virginia, Being Part Of The Property Which Dorothy C. Williams And Denny L. Morlin Acquired From Fred A. Craig, Deceased And M. Cole In D.B. 479 - Pg. 518 - H.C.C.C.O. (Third Item). Now Designated As Tract I.

Scale: 1" = 100'
 April 8, 1996

TERRY A. WALLER, L.L.S.
 Licensed Land Surveyor Number 14128
 Charlottesville, Virginia



BUSINESS RECORDS CORPORATION

Prepared by and return to:

Jonathan D. Puvak (VSB No. 82539)
Gentry Locke Attorneys
10 Franklin Rd. S.E.,
Suite 900
Roanoke, VA 24011

Grantee's Address:

5141 Altizer Sugar Run Rd.,
Hiwassee, VA 24347

Tax Map No.: 13.9(000)000/097E
Account No.: 154670006

Title Insurance: Unknown to preparer

Assessed Value: \$166,700.00

DEED IN LIEU OF FORECLOSURE

THIS DEED is made and entered into this 4th day of March, 2025, by and between
YO DADDY'S PROPERTIES, LLC, a Virginia limited liability company, herein referred to as
"Grantor," and **ZACHARY NOLEN**, herein referred to as "Grantee," and provides as follows:

W I T N E S S E T H

WHEREAS, Grantee is the holder of that certain promissory note by Grantor in the original
maximum principal amount of \$200,000.00 dated November 1, 2023 (the "Note"); and

WHEREAS, the Note is secured by, among other things, that certain Deed of Trust dated
November 1, 2023, from Grantor, of record in the Clerk's Office of the County of Henry, Virginia
as Instrument No. 230004104 (the "Deed of Trust"); and

WHEREAS, at the death of Frederick J. Wooden the sole member and owner of Grantor,
Grantor ceased to exist and the Property (as defined below) entered into Mr. Wooden's Estate.

WHEREAS, Winter G. F. Wooden, acting as Executor for the Estate of Frederick J.
Wooden, will convey the Property on behalf of Grantor to Grantee.

WHEREAS, Grantor has agreed to convey and Grantee has agreed to accept the hereinafter described property in lieu of foreclosure and in consideration of the full satisfaction of the outstanding balance due under the Note.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by Grantor, Grantor does hereby grant, bargain, sell and convey with General Warranty and English Covenants of Title unto Grantee all that certain lot or parcel of land lying and being in the County of Henry, Virginia, and more particularly described as follows (the "Property"):

PLEASE SEE SCHEDULE A ATTACHED HERETO

This deed is made subject to all easements, reservations, restrictions and conditions of record affecting the Property.

This conveyance is made in return for the full satisfaction of the Note secured by the Deed of Trust in the outstanding balance of \$208,400.00.

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

WITNESS the following signatures and seals:

By: Winter G. F. Wooden

Name: Winter G. F. Wooden

Title: Administrator of the ~~the~~ estate

COMMONWEALTH OF VIRGINIA)

) to-wit:

CITY/COUNTY OF Henry)

The foregoing Deed in Lieu of Foreclosure was acknowledged before me this 4 day of March, 2025, by Rachael Kreul.

[Signature]
Notary Public
Registration No. 1886109

My commission expires:

10/31/28



SCHEDULE A

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Yo Daddy's Properties, LLC, a Virginia limited liability company, from Michael James Alderman and Vicki B. Alderman, husband and wife, by deed dated December 1, 2022, and recorded in the aforesaid Clerk's Office on December 1, 2022 as Instrument Number CLR220004882.

Prepared by/Return to:
Hoyett L. Barrow, Jr. (VSB#15705)
Gardner, Barrow & Sharpe, P.C.
231 East Church Street
Martinsville, VA 24112

Tax Map No.: 13.9(000)000/097E
Account No.: 154670006

Sales Price: \$150,000
Tax Assessed Value: \$166,700

Grantee's address: Yo Daddy's Properties, LLC
715 South Memorial Blvd.
Martinsville, VA 24112

Title Insurance: None

YO DADDY'S PROPERTIES, LLC,
A VIRGINIA LIMITED LIABILITY COMPANY

FROM: DEED

MICHAEL JAMES ALDERMAN AND
VICKI B. ALDERMAN,
HUSBAND AND WIFE

THIS DEED, made and entered into this 1st day of December, 2022, by and between
MICHAEL JAMES ALDERMAN and VICKI B. ALDERMAN, husband and wife, parties of the
first part and Grantors herein, and YO DADDY'S PROPERTIES, LLC, a Virginia limited liability
company, party of the second part and Grantee herein.

WITNESSETH: That for and in consideration of the sum of Ten Dollars (\$10.00)
cash in hand paid to the Grantors by the Grantee, and other good and valuable consideration, the
receipt and adequacy of all of which is hereby acknowledged by the Grantors upon their execution
and delivery of this deed, the Grantors do hereby bargain, sell, grant and convey, in fee simple with

General Warranty and English Covenants of title, unto the Grantee, Yo Daddy's Properties, LLC, all of their rights, title and interests in and to the following described property, to-wit:

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Michael James Alderman and Vicki B. Alderman, husband and wife, from Lawrence Eldean Moore and Timothy Lee Moore, Grantors, by deed dated May 29, 2009, and recorded in the aforesaid Clerk's Office on even date therewith as Instrument Number 090002334.

TOGETHER WITH any and all mobile homes currently titled in the name(s) of one or more of the Grantors, or otherwise acquired by them upon the abandonment by one (1) or more tenant(s) who elected to relinquish possession as opposed to moving the same. FURTHER TOGETHER WITH any and all fire damaged mobile homes presently located within the confines of the above described property. Based thereon, Grantors quitclaim unto Grantee any and all rights and interests that they have in and to all of the aforementioned mobile homes, whether abandoned or fire damaged, and currently parked on the above described Tract 1.

This property is conveyed subject to all lawful existing easements, rights-of-way and restrictions duly of record and affecting said property, all without reimposing or regranteeing the same herein.

Grantee joins in this Deed to indicate its awareness of Grantors' existing Credit Line

Deed of Trust in favor of Branch Banking and Trust Company, which Trust Deed is dated May 29, 2009, is in the principal amount of \$200,000, and was recorded on even date therewith as Instrument Number 090002335, and as from time to time amended.

WITNESS the following signatures and seals the day and year first above written:

GRANTORS:

Michael James Alderman (SEAL)
Michael James Alderman

Vicki B. Alderman (SEAL)
Vicki B. Alderman

GRANTEE:

Yo Daddy's, Properties, LLC,
a Virginia limited liability company

Frederick J. Wooden (SEAL)
By: Frederick J. Wooden, Managing Member

STATE OF VIRGINIA, AT LARGE
CITY OF MARTINSVILLE, TO-WIT:

The foregoing Deed was sworn to and acknowledged before me this 1st day of December, 2022, by Michael James Alderman and Vicki B. Alderman, husband and wife, as Grantors.

My commission expires: 9/30/25
Notary Registration Number: 362034

Christina E. Hubbard
Notary Public



STATE OF VIRGINIA
CITY OF MARTINSVILLE

The foregoing Deed was acknowledged before me this 1st day of December, 2022, by Frederick J. Wooden, as Managing Member on behalf of Yo Daddy's Properties, LLC, a Virginia limited liability company, as Grantee.

My commission expires: 9/30/25.
Notary Registration Number: 362034

Christina E Hubbard
Notary Public



INSTRUMENT 220004882
RECORDED IN THE CLERK'S OFFICE OF
HENRY COUNTY CIRCUIT COURT ON
DECEMBER 1, 2022 AT 10:52 AM
\$167.00 GRANTOR TAX WAS PAID AS
REQUIRED BY SEC 58.1-802 OF THE VA. CODE
STATE: \$83.50 LOCAL: \$83.50
JENNIFER R. ASHWORTH, CLERK
RECORDED BY: TKP

CLR230004104

PREPARED BY/RETURN TO:
HOYETT L. BARROW, JR.
GARDNER, BARROW & SHARPE, P.C.
231 East Church Street, 4th Floor
Martinsville, VA 24112
VSB #: 15705

Amount secured: \$200,000

YO DADDY'S PROPERTIES, LLC,
A VIRGINIA LIMITED LIABILITY COMPANY

TO: DEED OF TRUST

Tax Map No.: 13.9(000)000/097E
Account No.: 154670006

ZACHARY NOLEN, MARRIED

THIS DEED OF TRUST, made this 1st day of November, 2023, by and between YO DADDY'S PROPERTIES, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, (hereinafter called "Grantor", whether singular or plural in number), party of the first part, and HOYETT L. BARROW, Jr. of Martinsville, Virginia, and PHILIP G. GARDNER of Martinsville, Virginia, Trustees, either or both of whom may act for all purposes in the execution of this trust, parties of the second part, hereinafter called "Trustees", and ZACHARY NOLEN, married, party of the third part (hereinafter called "Beneficiary").

WITNESSETH:

That in consideration of One Dollar (\$1.00) cash in hand paid and the further consideration of the premises, Grantor does grant, bargain, sell and convey unto Trustees, WITH COVENANTS OF GENERAL WARRANTY OF TITLE, all the following described real estate, with its appurtenances and improvements, situated in the County of Henry, Virginia, and being more particularly described as follows, to-wit:

SEE SCHEDULE "A" APPENDED HERETO AND MADE PART AND
PARCEL HEREOF FOR DESCRIPTION OF REAL PROPERTY COVERED
HEREBY.

***NOTICE: THE DEBT SECURED HEREBY IS SUBJECT TO CALL IN
FULL OR THE TERMS THEREOF BEING MODIFIED IN THE EVENT
OF SALE OR CONVEYANCE OF THE PROPERTY CONVEYED, OR ANY
PORTION THEREOF.***

IN TRUST, to secure to Beneficiary the payment of the principal sum of Two Hundred Thousand Dollars (\$200,000.00). This is an interest only debt, and there is no obligation upon

Borrower to repay any portion of the principal until ninety (90) days following November 1, 2024, at the earliest, or at any later date as thereafter elected by the Beneficiary, which election, if made, is subject to the notification provisions contained in the below referenced Promissory Note. The principal amount evidenced by a Promissory Note of even date herewith shall accrue interest at an annual rate of Sixteen and Two Tenths percent (16.2%) and Grantor is obligated to make interest only payments of Twenty Seven Hundred Dollars (\$2,700) per month, with the first of said monthly payments being due on December 1, 2023, and on the 1st day of each successive and succeeding month thereafter accruing until the 12th and final interest only installment is paid on November 1, 2024, subject to the automatic renewal of said loan thereafter on a monthly basis upon the identical terms and conditions hereinbelow set out, excepting only that Payee at any time after November 1, 2024, will be entitled to call this Note due upon written notification to Maker/Borrower, whereupon Maker will be obligated to satisfy in full the principal indebtedness evidenced hereby (i.e. \$200,000), together with any then accrued and unpaid interest, which "called" payment shall be paid by Maker within ninety (90) days of the aforementioned notification. The said principal and interest only monthly installments shall be payable to Beneficiary at 5141 Altizer Sugar Run Road, Hiwassee, Virginia 24347, or such other place as Noteholder may designate.

Balance of principal and any unpaid accrued interest shall be payable at the earliest on ninety (90) days following November 1, 2024, or at any later date as thereafter elected by the Beneficiary, which election, if made, is subject to the aforementioned notification provisions, all pursuant to the aforementioned provisions contained in said Note as herein incorporated by reference thereto.

RIGHT OF ANTICIPATION IS HEREBY RESERVED, BUT SUBJECT TO THE LIMITING LANGUAGE CONTAINED IN THE PARTIES' PROMISSORY NOTE DATED NOVEMBER 1, 2023.

IN TRUST ALSO to secure any renewals of the Note above described, any note required by change in the plan of payment made by agreement between Grantor and Beneficiary, and any note given to return the obligation hereby secured, as hereafter curtailed, to an amount not in excess of the original amount hereby secured. **Grantor covenants that it will not transfer or assign the said real estate without the prior written consent of Beneficiary.**

In event of default in any payment above required, or in event of default in any other covenants herein contained, Beneficiary shall have the right and privilege, at his option, and without notice, to declare the remaining unpaid balance of principal, accrued interest charges and other charges hereby authorized immediately due and payable and for all purposes, and failure to exercise said option upon default shall not constitute waiver of the right to declare same upon future default.

The beneficial holder of the indebtedness hereby secured at the time of execution hereof is Zachary Nolen.

Grantor covenants: if applicable, to maintain the improvements on said real estate insured against loss by fire, with broad coverage endorsement attached, in an amount no less than \$200,000.00 with proper mortgage clauses attached for the protection of this trust (naming Zachary

Nolen as Loss Payee), and to present evidence of payment of premiums thereon promptly when due; to promptly pay all taxes and assessments (including sewage service charges, if any) levied against said real estate and to present paid tax tickets for inspection to Beneficiary promptly after due dates. Beneficiary reserves the right to place the payment of insurance premiums, taxes, or other charges against said real estate on an amortized basis, in which event Grantor shall promptly pay, at intervals fixed by Beneficiary, amounts sufficient to amortize such charges.

As additional security, Grantor assigns unto Beneficiary any rents which may now or hereafter be due on the real estate above described, effective on default hereunder at the option of Beneficiary, and with further option in Beneficiary to collect the same or employ agents for that purpose and pay a part of the rents so collected to such agents for that service.

Any insurance paid as a result of damage to the improvements on said real estate may, at Beneficiary's option, be applied to the unpaid obligation or released for repair.

Beneficiary shall have the right and privilege, at his option, but without obligation to do so, to make any payments covenanted to be made by Grantor, and take such action as may be necessary to preserve the above-described property from decay or deterioration, and protect same in any litigation concerning same, in such event any charges incurred for such purposes shall be secured hereby.

Should default occur in the payment of the obligation hereby secured as above provided, or any covenants herein, Trustees, or either of them, upon receipt of written notice and request so to do from Beneficiary, shall sell the real estate herein granted at public auction, for cash in hand on day of sale, at such place as may be selected by Trustees and designated in the notice of sale, after first advertising the same as provided by law, and shall apply the proceeds as provided by law, for which services said Trustees shall be entitled to five percent (5%) of the gross proceeds of such sale. Should it be necessary in the opinion of Trustees, the sale may be postponed as provided by law. At such sale Trustees may require bidder's deposit of ten percent (10%) of bid price. Should either Trustee fail to act under this instrument when requested, for any reason, or in event of their resignation, or for any reason whatsoever, Beneficiary is hereby empowered to appoint by an instrument recorded at the place of recordation of this instrument, one or more substitute Trustees, who shall have all the rights, powers and duties conferred upon the Trustees herein.

Grantor covenants that it possesses legal capacity to execute this instrument and as to the obligation hereby secured it waives all homestead or other exemptions, and that the agreements herein shall be binding upon the LLC's heirs, successors and assigns.

"Exemption waived." "Subject to all upon default." "Renewal or extension permitted." "Right of anticipation reserved" (subject to repayment limitations). "Insurance required, if applicable, is \$200,000.00." "Substitution of Trustee permitted." "Any Trustee may act."

Extension of the time for payment or modification of amortization of the sums secured by this Deed of Trust granted by Beneficiary to any successor in interest of Grantor shall not operate to release, in any manner, the liability of the original Borrower (Grantor) and Borrower's (Grantor's)

successors in interest.

Upon satisfaction of the obligation hereby secured, Grantor shall be entitled to a release of the lien of this instrument at Grantor's own proper cost and charge.

WITNESS the following signature and seal, this the day and year first above written:

Yo Daddy's Properties, LLC,
a Virginia limited liability company

By:  (SEAL)
Frederick J. Wooden, Sole Member

STATE OF VIRGINIA, AT LARGE,
CITY OF MARTINSVILLE, TO-WIT:

The foregoing instrument was acknowledged before me this 6th day of November, 2023, by Frederick J. Wooden, as Sole Member of Yo Daddy's Properties, LLC, a Virginia limited liability company, as Grantor.

My commission expires: 9/30/25


NOTARY PUBLIC




SCHEDULE "A"

All that certain lot or parcel of land, together with the improvements thereon located and appurtenances thereunto appertaining, situated in the Blackberry Magisterial District of Henry County, Virginia, lying on the Southerly side of State Route 57, and being known and designated as Tract 1, containing 8.580 Acres (By Traverse), all as more clearly shown on that certain Plat of Survey of the Craig Mobile Home Park, prepared by Terry A. Waller, L.L.S., dated April 8, 1996, and of record in the Clerk's Office of the Circuit Court of Henry County, Virginia in Map Book 88, page 506.

Being the same property acquired by Yo Daddy's Properties, LLC, a Virginia limited liability company, from Michael James Alderman and Vicki B. Alderman, husband and wife, by deed dated December 1, 2022, and recorded in the aforesaid Clerk's Office on December 1, 2022 as Instrument Number CLR220004882.

Yo Daddy's, Properties, LLC,
a Virginia limited liability company



By: Frederick J. Wooden, Managing Member

INSTRUMENT 230004104
RECORDED IN THE CLERK'S OFFICE OF
HENRY COUNTY CIRCUIT COURT ON
NOVEMBER 6, 2023 AT 10:53 AM
JENNIFER R. ASHWORTH, CLERK
RECORDED BY: RAM

CONTRACT OF PURCHASE

THIS CONTRACT OF PURCHASE (hereinafter "Contract") is made as of April 21st, 2026, between Zachary Nolen owners of record of the Property sold herein (hereinafter referred to as the "Seller"), and _____

(hereinafter referred to as the "Purchaser", whether one or more). The Purchaser was the successful bidder at a public auction of the Property held on this date and this Contract restates the terms of sale announced prior to the auction sale.

1. Real Property. Purchaser agrees to buy, and Seller agrees to sell the land and all improvements thereon and appurtenances thereto which fronts upon a public street or has a recorded access easement to a public street (hereinafter referred to as the "Property"), located in the County of Henry, Virginia, and described as:

2. Legal Description –

+/- 8.58 acres and Improvements; Tax Map #: 13.9(0000)000 /097E; PID #: 798;
L2200/04882

More Commonly Known As – 15 Spruce Pine Ln., Bassett, VA 24055

3. Purchase Price. The purchase price of the Property is equal to the auction bid price plus 10% Buyer's Premium, which is as follows: _____
(hereinafter referred to as the "Purchase Price"), which shall be paid to the Settlement Agent (designated below) at settlement ("Settlement") by certified or cashier's check, or wired funds, subject to the prorations described herein.

4. Deposit. Purchaser has made a deposit with the Auction Company, of \$5,000 (hereinafter referred to as the "Deposit"). The Deposit shall be held by the Auction Company, pursuant to the terms of this Contract, until Settlement and then applied to the Purchase Price.

5. Settlement Agent and Possession. Settlement shall be made at Attorney or Title Company of Purchasers Choice on or before June 22nd, 2026 ("Settlement Date"). Time is of the essence. Possession shall be given at Settlement.

Seller's Initials _____

Purchaser's Initials _____

6. Required Disclosures.**(a) Mechanics' and Materialmen's Liens.****NOTICE**

Virginia law (Virginia Code § 43-1 *et seq.*) permits persons who have performed labor or furnished materials for the construction, removal, repair or improvement of any building or structure to file a lien against the Property. This lien may be filed at any time after the work is commenced or the material is furnished, but not later than the earlier of (i) 90 days from the last day of the month in which the lienor last performed work or furnished materials or (ii) 90 days from the time the construction, removal, repair or improvement is terminated.

AN EFFECTIVE LIEN FOR WORK PERFORMED PRIOR TO THE SETTLEMENT DATE MAY BE FILED AFTER SETTLEMENT. LEGAL COUNSEL SHOULD BE CONSULTED.

(b) Title Insurance Notification. Purchaser may wish at Purchaser's expense to purchase owner's title insurance. Depending on the particular circumstances of the transaction, such insurance could include affirmative coverage against possible mechanics' and materialmen's liens for labor and materials performed prior to Settlement and which, though not recorded at the time of recordation of Purchaser's deed, could be subsequently recorded and would adversely affect Purchaser's title to the Property. The coverage afforded by such title insurance would be governed by the terms and conditions thereof, and the premium for obtaining such title insurance coverage will be determined by its coverage.

(c) Choice of Settlement Agent. Virginia's Consumer Real Estate Settlement Protection Act provides that the purchaser or borrower has the right to select the settlement agent to handle the closing of this transaction. The settlement agent's role in closing this transaction involves the coordination of numerous administrative and clerical functions relating to the collection of documents and the collection and disbursement of funds required to carry out the terms of the contract between the parties. If part of the purchase price is financed, the lender for the purchaser will instruct the settlement agent as to the signing and recording of loan documents and the disbursement of loan proceeds. No settlement agent can provide legal advice to any party to the transaction except a settlement agent who is engaged in the private practice of law in Virginia and who has been retained or engaged by a party to the transaction for the purpose of providing legal services to that party.

Variation by agreement: The provisions of the Consumer Real Estate Settlement Protection Act may not be varied by agreement, and rights conferred by this chapter may not be waived. The Seller may not require the use of a particular settlement agent as a condition of the sale of the property.

Escrow, closing and settlement service guidelines: The Virginia State Bar issues guidelines to help settlement agents avoid and prevent the unauthorized practice of law in connection with furnishing escrow, settlement or closing services. As a party to a real estate transaction, the purchaser or borrower is entitled to receive a copy of these guidelines from your settlement agent,

Seller's Initials _____

Purchaser's Initials _____

upon request, in accordance with the provisions of the Consumer Real Estate Settlement Protection Act.

7. Standard Provisions.

(a) **Deposit.** If Purchaser fails to complete settlement on or before the Settlement Date, time being of the essence, the Deposit shall be forfeited to the Seller. Such forfeiture shall not limit any liability of the defaulting Purchaser or any rights or remedies of the Seller with respect to any such default, and the defaulting Purchaser shall be liable for all costs of re-sale of the Property (including attorney's fees of Seller), plus any amount by which the ultimate sale price for the Property is less than the defaulting purchaser's bid. After any such default and forfeiture, the Property may, at the discretion of the Seller, be conveyed to the next highest bidder of the Property whose bid was acceptable to the Seller. In the event the Seller does not execute a deed of conveyance for any reason, the Purchaser's sole remedy shall be the refund of the deposit. Immediately upon delivery of the deed for the Property by the Seller, all duties, liabilities, and obligations of the Seller, if any, to the purchaser with respect to the Property shall be extinguished.

(b) **Expenses and Prorations.** Seller agrees to pay the costs of preparing the deed, certificates for non-foreign status and state residency and the applicable IRS Form 1099, and the recordation tax applicable to grantors. Except as otherwise agreed herein, all other expenses incurred by Purchaser in connection with the Contract and the transaction set forth therein, including, without limitation, title examination costs, insurance premiums, survey costs, recording costs, loan document preparation costs and fees of Purchaser's attorney, shall be borne by Purchaser. All taxes, assessments, interest, rent and mortgage insurance, if any, shall be prorated as of Settlement. In addition to the Purchase Price, Purchaser shall pay Seller (i) for all propane remaining on the Property (if any) at the prevailing market price as of Settlement and (ii) any escrow Deposits made by Seller which are credited to Purchaser by the holders thereof.

(c) **Title.** At Settlement, Seller shall convey to Purchaser good and marketable fee simple title to the Property by **Deed of General Warranty**, free of all liens, tenancies, defects and encumbrances, except as otherwise indicated herein, and subject only to such restrictions and easements as shall then be of record which do not affect the use of the Property for residential purposes or render the title unmarketable. If a defect is found which can be remedied by legal action within a reasonable time, Seller shall, at Seller's expense, promptly take such action as is necessary to cure the defect. If Seller, acting in good faith, is unable to have such defect corrected within 60 days after notice of such defect is given to Seller, then this Contract may be terminated by either Seller or Purchaser. Purchaser may extend the date for Settlement to the extent necessary for Seller to comply with this Paragraph but not longer than 60 days.

(d) **Land Use Assessment.** In the event the Property is taxed under land use assessment and this sale results in disqualification from land use eligibility, Seller shall pay, when assessed, whether at or after Settlement, any rollback taxes assessed. If the Property continues to be eligible for land use assessment, Purchaser agrees to make application, at Purchaser's expense, for continuation under land use, and to pay any rollback taxes resulting from failure to file or to qualify.

Seller's Initials _____

Purchaser's Initials _____

(e) **Risk of Loss.** All risk of loss or damage to the Property by fire, windstorm, casualty or other cause, or taking by eminent domain, is assumed by Seller until Settlement. In the event of substantial loss or damage to the Property before Settlement, Purchaser shall have the option of either (i) terminating this Contract, or (ii) affirming this Contract, with appropriate arrangements being made by Seller to repair the damage, in a manner acceptable to Purchaser, or Seller shall assign to Purchaser all of Seller's rights under any applicable policy or policies of insurance and any condemnation awards and shall pay over to Purchaser any sums received as a result of such loss or damage.

(f) **Property Sold "As Is".** Purchaser agrees to accept the Property at Settlement in its present physical condition. No representations or warranties are made as to zoning, structural integrity, physical condition, environmental condition, construction, workmanship, materials, habitability, fitness for a particular purpose, or merchantability of all or any part of the Property.

(g) **Counterparts.** This Contract may be executed in one or more counterparts, with each such counterpart to be deemed an original. All such counterparts shall constitute a single agreement binding on all the parties hereto as if all had signed a single document. It is not necessary that all parties sign all or any one of the counterparts, but each party must sign at least one counterpart for this Contract to be effective.

(h) **Assignability.** This Contract may not be assigned by either Seller or Purchaser without the written consent of the other.

(i) **Miscellaneous.** The parties to this Contract agree that it shall be binding upon them, and their respective personal representatives, successors and assigns, and that its provisions shall not survive Settlement and shall be merged into the deed delivered at Settlement except for the provisions relating to rollback taxes. This Contract contains the final agreement between the parties hereto, and they shall not be bound by any terms, conditions, oral statements, warranties or representations not herein contained. This Contract shall be construed under the laws of the Commonwealth of Virginia.

(i) **Auction is subject to VA Statute 55.1-1308.2..** § 55.1-1308.2. Notice of intent to sell.
A. A manufactured home park owner who offers or lists the park for sale to a third party shall provide written notice containing the date on which the notice is sent and the price for which the park is to be offered or listed for sale. Such notice shall be sent to the Department of Housing and Community Development, which shall make the information available on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park, in accordance with § 55.1-1202, at least 90 days prior to accepting an offer. A manufactured home park owner shall consider any offers to purchase received during such 90-day notice period. For purposes of this section, "third party" does not include a member of the manufactured park owner's family by blood or marriage or a person or entity that owns a portion of the park at the time of the offer or listing of such manufactured home park. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after the written notice provided in this section.

Seller's Initials _____

Purchaser's Initials _____

B. If a manufactured home park owner receives an offer to purchase the park, acceptance of that offer shall be contingent upon the park owner sending written notice of the proposed sale and the purchase price in the real estate purchase contract at least 60 days before the closing date on such purchase contract to the Department of Housing and Community Development, which shall place the information on its website within five business days of receipt. Such written notice shall also be given to each tenant of the manufactured home park. During the 60-day notice period, the park owner shall consider additional offers to purchase the park made by an entity that provides documentation that it represents at least 25 percent of the tenants with a valid lease in the manufactured home park at the time any such offer is made, but shall not be obligated to consider additional offers after the expiration of the 60-day notice period. Nothing shall be construed to require any subsequent notice by the manufactured home park owner after provision of the written notice required by this section.

More information on the code can be found at:

<https://law.lis.virginia.gov/vacode/title55.1/chapter13/section55.1-1308.2/>

C. All mobile homes located on the property are owned by the tenants, not the park owner. Therefore, mobile home titles will not be transferred to purchaser. Additionally, purchaser acknowledges that there may be limitations or regulations that prohibit the relocation / removal of mobile homes from property. Bidder acknowledges that information on manufactured homes is limited to physical exterior inspection and that the seller does not possess titles to the mobile homes. Inspection of mobile homes is only relevant to ascertain overall appeal of mobile home park.

Seller's Initials _____

Purchaser's Initials _____

IN WITNESS WHEREOF, the Purchaser and the Seller have duly executed this Contract as of the day and year first above written.

Zachary Nolen (Seller)

Date

Purchaser Name

Address

Phone #

Email

(Purchaser signature)

Date

Purchaser Name

Address

Phone #

Email

(Purchaser signature)

Date

Seller's Initials _____

Purchaser's Initials _____

RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM

Subd 13-4

Owner Craig & H Address 14, Bessett, Va Phone TNU-4
 Occupant 14 - Trades - Repair Address (Mailing Address) Phone (Mailing Address)
 Exact Location of Premises 5700, L into Craig & H. Bessett R.
 (Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☒ Yes ☐ No. Distance to nearest House Sewer _____ feet: Distance to nearest Sewer Disposal System _____ feet. (Use Form LHS-143 for Detailed Inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

(1) LOCATION

Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines _____ feet. Trees _____ feet. Water Supplies 1000 feet. Buildings _____ feet.

(2) INSTALLATION AND DESIGN

Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other None (Describe)

(3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.

(4) HOUSE SEWER LINE

Installed ☒ Yes ☐ No. Type of material PVC Size 4 inches.

(5) SEPTIC TANK

Constructed of Existing (Kind of Material) Inside Dimensions Length _____ feet. Width _____ feet. Liquid Depth _____ feet. Depth of Air Space _____ inches. Inside Fittings comply with requirements ☒ Yes ☐ No.

(6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with 2 extra outlets for future use. (Number)

(7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 2400 square feet. Number of ditches _____ Length of ditches _____ feet. Grade of ditches Minimum 4 inches per 100 feet. Maximum 2 inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No. Type aggregate used crushed stone Depth of aggregate under Tile 12 inches. Total depth of aggregate 36 inches. Depth of backfill over aggregate _____ inches.

(8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No. Was Surface Drainage required ☒ Yes ☐ No. If Yes, has this been provided ☒ Yes ☐ No. Has area been drained by lower Ground Water Table: ☐ Yes ☒ No. ☒ Not required.

(9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Bernard Murphy Address Bessett, Va Phone _____
 This Sewage Disposal System (Is/Is-Not) Approved by Henry A Health Department
 Date 7/24/80 Signed Samuel B. Dillard (Sanitarian)
 Date _____ Approved _____ (Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

PERMIT TO INSTALL ☒ REPAIR ☐ REASONS FOR REJECTION ☐
 WATER SUPPLY ☐ SEWAGE DISPOSAL SYSTEM ☒ *Indell*

(1) Void after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA ☐ Yes ☒ No Date 4/21/80 Case No. _____
 Owner Craig & Ct Address 46 Barrett, Va Phone _____
 Occupant 4-Two - Repair Address _____ Phone _____
 Exact Location of premises 57W, 1-@ Craig & Ct
 (Subdivision, Street or Road Name, Section or Lot No.)
 FOR: ☐ Dwelling ☐ Other 4-Two Automatic Washing Machine ☐ Yes ☒ No Consumption 1600 gal. per day
 Actual ☐ Potential ☐ Bedrooms Garbage Disposal Unit ☐ Yes ☒ No (☐ Actual ☒ estimated Water)
 Additional wastes _____

(1) WATER SUPPLY (Existing) Class III Approved ☒ Yes ☐ No Other _____
 (To be installed) Class _____ Cased _____ ft. to be grouted _____ ft.
 (Unless supported by positive evidence Class III is to be considered as to be installed.)

(2) SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No Technical Classification _____
 Estimated Percolation Rate: 1-10 ☐ 11-25 ☐ 26-50 ☐ > 51 ☒ Percolation Test Required ☐ Yes ☒ No ☐ Rate _____
 (Minutes per inch) (Minutes per inch to nearest 10 minutes)
 Depth to Grey Mottles _____ inches (estimate over 4 ft.) OTHER _____
 Surface drainage required ☐ Yes ☒ No OTHER DRAINAGE _____

(3) HOUSE SEWER LINE Size 4 inches. Type of material required Plastic Distance from Water Supply 50 feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Existing Material _____ Liquid Capacity 1600 gallons.
 Inside Dimensions Length _____ feet. Width _____ feet. Liquid Depth _____ feet. Depth of Air Space _____ feet.

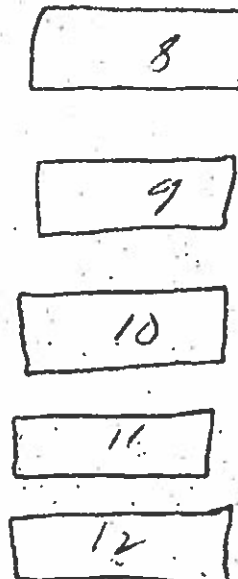
SUBSURFACE ABSORPTION FIELD: Number of square feet required 1200 on each side of entrance
 Type aggregate required _____
 (5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.
 Total aggregate minimum depth 13 inches or more. Depth of drainfield to be 36 inches from surface of original ground.
 Distance from well to septic tank _____ feet; distance from well to drainfield _____ feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)

These two system will replace the first two systems on R @ entrance to S.A. Ct.

Two drainfields

- Representative ☐ Owner ☐
- 1) 5 lines
80' long
9" center
3" wide
 - 2) 4 lines
100' long
9" center
3" wide



Note: Owner or his agent must notify Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.
 Date _____ Approved _____ Health Department, Phone 638-2311
 (Reviewing Authority) (Sanitarian or Health Director)

RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

11-13-9

Owner Craig Jr. Ct Address 116, Bassett, Va. Phone END 4

Occupant 2 - Two Address (Mailing Address) Phone (Mailing Address)

Exact Location of Premises 5744 above Bassett on 1 @ Craig Jr. Ct. between 8th & 9th on R.
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☐ Yes ☐ No. Distance to nearest House Sewer _____ feet. Distance to nearest Sewage Disposal System _____ feet. (Use Form LHS-143 for Detailed Inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

(1) LOCATION
Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines _____ feet. Trees _____ feet. Water Supplies _____ feet. Buildings _____ feet.

(2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No.
Have additional Household Appliances been added NOT on Permit:
☐ Automatic Washer ☐ Garbage Disposal
☐ Other _____ (Describe)

(3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.

(4) HOUSE SEWER LINE
Installed ☐ Yes ☐ No. Type of material _____ Size _____ inches.

(5) SEPTIC TANK
Constructed of _____ (Kind of Material)
Inside Dimensions Length _____ feet. Width _____ feet. Liquid Depth _____ feet. Depth of Air Space _____ inches.
Inside Fittings comply with requirements ☐ Yes ☐ No.

(6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with _____ (Number) extra outlets for future use.

(7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches 480 square feet.
Number of ditches 4 Length of ditches 30 feet.
Grade of ditches Minimum 4 inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No.
Type aggregate used crushed stone
Depth of aggregate under Tile 13 inch
Total depth of aggregate 20 inch
Depth of backfill over aggregate 36-42 inch

(8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No. Was Surface Drainage required ☐ Yes ☒ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lower Ground Water Table: ☐ Yes ☒ No. ☐ Not required.

(9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Samuel Murphy Address Bassett, Va. Phone _____

This Sewage Disposal System (HS) (Is-Not) Approved by Henry G. Health Department

Date 4/21/80 Signed Samuel B. Under (Sanitarian)

Date _____ Approved _____ (Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

PERMIT TO INSTALL ☐ REPAIR ☒ REASONS FOR REJECTION ☐
 WATER SUPPLY ☐ SEWAGE DISPOSAL SYSTEM ☒

(1) Void after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

Owner Chapman, J. H. Address Rt 6, Barnett, Va Phone 424-1800 Case No. 638-2311
 Occupant 2-Two Address _____ Phone _____

Exact Location of premises 5700 above Barnett on L. road before #601. Between the 8th & 9th
 (Subdivision, Street or Road Name, Section or Lot No.) Traverse on R.

FOR: ☒ Dwelling ☐ Other 2-Two Automatic Washing Machine ☐ Yes ☒ No Consumption 800 gal. per day
 Actual ☒ Potential ☐ Bedrooms _____ Garbage Disposal Unit ☐ Yes ☒ No (☐ Actual ☒ estimated Water)

(1) WATER SUPPLY (Existing) Class III Approved ☒ Yes ☐ No Other _____
 (To be installed) Class _____ Cased _____ ft. to be grouted _____ ft.
 (Unless supported by positive evidence Class (II) is to be considered as to be installed.)

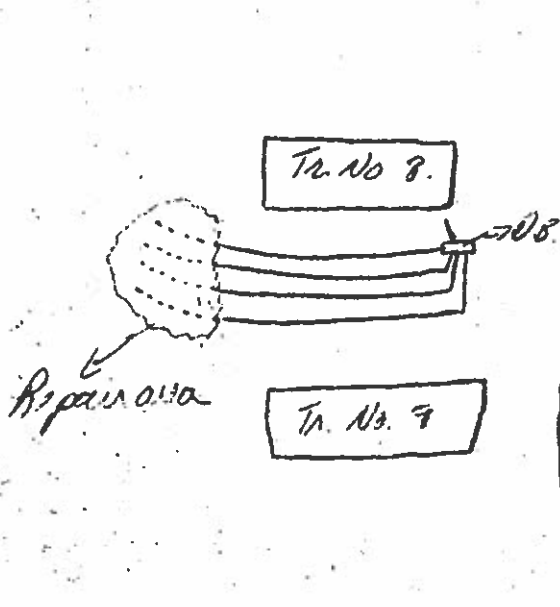
(2) SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No Technical Classification _____
 Estimated Percolation Rate 1-10 ☐ 11-25 ☐ 26-50 ☐ > 51 ☒ Percolation Test Required ☐ Yes No ☒ Rate _____
 (Minutes per inch) (Minutes per inch to nearest 10 minutes)
 Depth to Gray Mottles _____ inches (estimate over 4 ft.) OTHER _____
 Surface drainage required ☐ Yes ☒ No OTHER DRAINAGE _____

(3) HOUSE SEWER LINE Size _____ inches. Type of material required _____ Distance from Water Supply _____ feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Epoxy Material _____ Liquid Capacity _____ gallons.
 Inside Dimensions Length _____ feet. Width _____ feet. Liquid Depth _____ feet. Depth of Air Space _____ feet.

SUBSURFACE ABSORPTION FIELD Number of square feet required 480 Type aggregate required crushed stone
 Depth of aggregate from base of tile to bottom of ditches 13 inches. Allowable fall 2 to 4 inches.
 (5) Total aggregate minimum depth 20 inches or more. Depth of drainfield to be 36-42 inches from surface of original ground.
 Distance from well to septic tank _____ feet; distance from well to drainfield _____ feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Add:
 (a) 30' to each line
 (b) 13" of gravel under with 7" of cover.

Signature ☐ Representative ☐ Owner ☐ Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.
 Date 4/2/80 Approved _____ (Reviewing Authority) Signed Samuel B. Williams (Sanitarian or Health Director)

RECORD INSPECTION SEWAGE DISPOSAL SYSTEM

Trid 13-9
Parcel - 4
Lot - 98

Date 4/24/73 Case No.

Owner F. A. Craig Address Rd 2, Bassett, Va Phone _____
(Mailing Address)
Occupant Craig Trailer Park Address _____ Phone _____
(Mailing Address)
Exact Location of Premises 57 Walnut Bassett (Craig Trailer Park)
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☒ Yes ☐ No Distance to nearest House Sewer 70 feet. Distance to nearest Sewage Disposal System 50 feet. (Use Form LHS-143 for Detailed Inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
Allotted Area adequate ☒ Yes ☐ No Distance from nearest lot lines 16 feet. Trees 10 feet. Water Supplies 50 feet. Buildings 10 feet.
- (2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No
Have additional Household Appliances been added NOT on Permit:
☐ Automatic Washer ☐ Garbage Disposal
☐ Other NONE (Describe)
- (3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
Installed ☒ Yes ☐ No. Type of material Plas. Size 4 Inches.
- (5) SEPTIC TANK
Constructed of Precast (3)
Inside Dimensions Length 3 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with 2 (Number) extra outlets for future use.
- (7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches 1200 (3 systems) square feet. Number of ditches 12 Length of ditches 100 feet. Grade of ditches Minimum 4 inches per 100 feet. Maximum 2 inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No. Type aggregate used crushed stone. Depth of aggregate under Tile 6 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 30 inches.
- (8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No. Was Surface Drainage required ☐ Yes ☒ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☒ No. ☒ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor Fieldale Cement Prod. Address Fieldale, Va. Phone _____
This Sewage Disposal System (is ~~is not~~) Approved by Henry Co. Health Department.
Date 4/24/73 Signed Samuel B. Nichols Date _____ Approved _____
(Sanitarian) (Health Director)
Date _____ Approved _____ Date _____ Approved _____
(Advisory Sanitarian) (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

PERMIT TO INSTALL ☒ REPAIR ☐ REASONS FOR REJECTION ☐ WATER SUPPLY ☐ SEWAGE DISPOSAL SYSTEM ☒

(1) Void after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit.
 (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA: ☐ Yes ☒ No Date 1/24/73 Case No. 15

Owner F.A. CARR Address RT 2, Bassett, Va Phone IN 1
 (Mailing Address)

Occupant For Trailers (6) Address 57 Walnut Bassett at Camp Simler Park Phone 15
 (Mailing Address)

Exact Location of premises 57 Walnut Bassett at Camp Simler Park
 (Subdivision/Street or Road Name, Section or Lot No.)

FOR: ☐ Dwelling ☐ Other Trailer Park Automatic Washing Machine ☒ Yes ☐ No Consumption 100 gal. per day
 Actual ☐ Potential ☐ Bedrooms Garbage Disposal Unit ☐ Yes ☒ No (☐ Actual ☒ estimated Water)
 Additional wastes:

(1) WATER SUPPLY (Existing) Class III Approved ☒ Yes ☐ No Other
 (To be installed) Class Cased ft. to be grouted ft.
 (Unless supported by positive evidence Class III is to be considered as to be installed.)

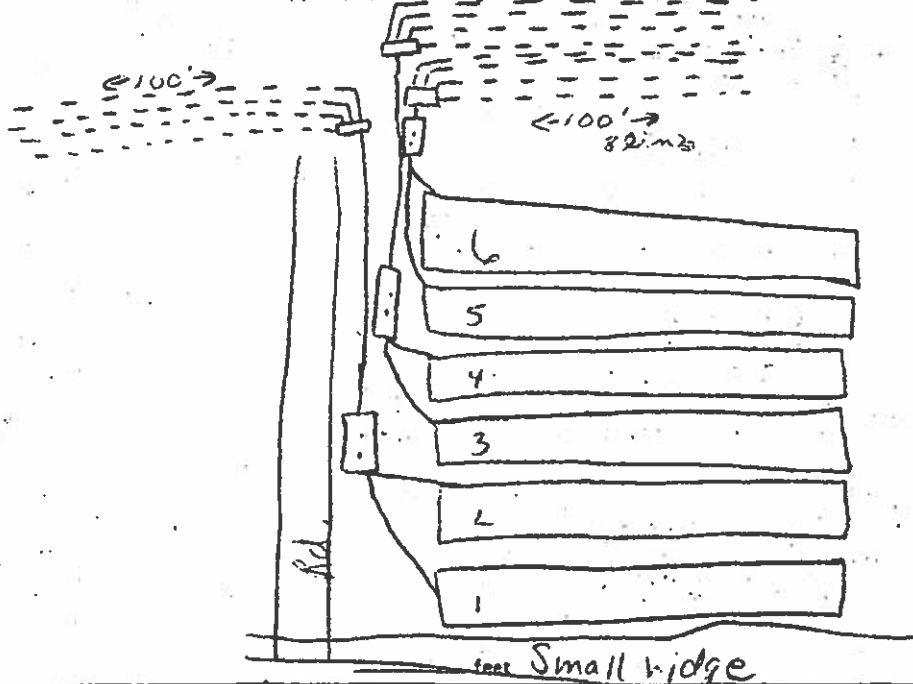
(2) SOIL STUDY Naturally drained; suitable by sight ☒ Yes ☐ No Technical Classification (If Known)
 Estimated Percolation Rate 1-10 ☐ 11-25 ☐ 26-50 ☐ > 51 ☐ Percolation Test Required ☐ Yes No ☒ Rate
 (Minutes per inch) (Minutes per inch to nearest 10 minutes)
 Depth to Gray Mottles inches (estimate over 4 ft.) OTHER
 Surface drainage required ☐ Yes ☒ No OTHER DRAINAGE

(3) HOUSE SEWER LINE Size 4 inches. Type of material required Plastic. Distance from Water Supply 50 feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Precast (3) Material Liquid Capacity 960 gallons.
 Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches.

SUBSURFACE ABSORPTION FIELD Number of square feet required 3600 Type aggregate required crushed stone
 (5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.
 Total aggregate minimum depth 30 inches or more. Depth of drainfield to be 30 inches from surface of original ground.
 Distance from well to septic tank 50 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Note: Owner or his agent must notify Health Dept. Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.
 Date 1/24/73 Approved Sam Nichols (Sanitarian or Health Director)
 LHS - 121 REV. 12/71 (Reviewing Authority)

DUPLICATE

Signature ☐ Owner ☐ Representative ☐

RECORD INSPECTION SEWAGE DISPOSAL SYSTEM

Parcel 1A
Lot 98

Date 4/27/72 Case No.

Owner J. A. Craig Address Rt 2, Bassett, Va. Phone 501-11
(Mailing Address)

Occupant Trailers Address _____ Phone _____
(Mailing Address)

Exact Location of Premises 57 W above Bassett, on L.
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☒ Yes ☐ No. Distance to nearest House Sewer 50 feet. Distance to nearest Sewage Disposal System 50 feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines 10 feet. Trees 10 feet. Water Supplies 50 feet. Buildings 10 feet.
- (2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other None
(Describe)
- (3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
Installed ☒ Yes ☐ No. Type of material 4 I
Size 4 Inches.
- (5) SEPTIC TANK
Constructed of Precast
(Kind of Material)
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with 3
(Number) extra outlets for future use.
- (7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches 2400 square feet. Number of ditches 8 Length of ditches 100 feet. Grade of ditches Minimum 2 Inches per 100 feet. Maximum _____ inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No. Type aggregate used crushed stone
Depth of aggregate under Tile 6 inches. Total depth of aggregate 15 inches. Depth of backfill over aggregate 36 inches.
- (8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No. Was Surface Drainage required ☐ Yes ☒ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☒ No. ☒ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Fieldale Cement Prod. Address Fieldale, Va. Phone _____

This Sewage Disposal System (1a) (1b) Approved by H. May Co. Health Department.

Date 4/27/72 Signed Sam Nichols Date _____ Approved _____
(Sanitarian) (Health Director)

Date _____ Approved _____ Date _____ Approved _____
(Advisory Sanitarian) (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

☒ TO INSTALL ☒ REPAIR ☐ REASONS FOR REJECTION ☐ **WATER SUPPLY** ☒ **SEWAGE DISPOSAL SYSTEM** ☒

(1) Void after (12) twelve months; (2) Automatically cancelled when site conditions are changed from those shown on permit; (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA ☐ Yes ☒ No Date 10/27/72 Case No. 121

Owner J. A. Craig Address Rt. 2, Bassett, Va. Phone _____
 (Mailing Address)

Occupant Trailer Park Address _____ Phone _____
 (Mailing Address)

Exact Location of premises 57 W above Bassett, on L side of road.
 (Subdivision, Street or Road Name, Section or Lot No.)

FOR: ☐ Dwelling ☐ Other Trailers Automatic Washing Machine ☒ Yes ☐ No Consumption 1200 gal. per day
 Actual ☐ Potential ☐ Bedrooms _____ Garbage Disposal Unit ☐ Yes ☒ No (☐ Actual ☒ estimated Water)
 Additional wastes _____

(1) WATER SUPPLY (Existing) Class III Approved ☒ Yes ☐ No Other _____
 (To be installed) Class _____ Cased _____ ft. to be grouted _____ ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

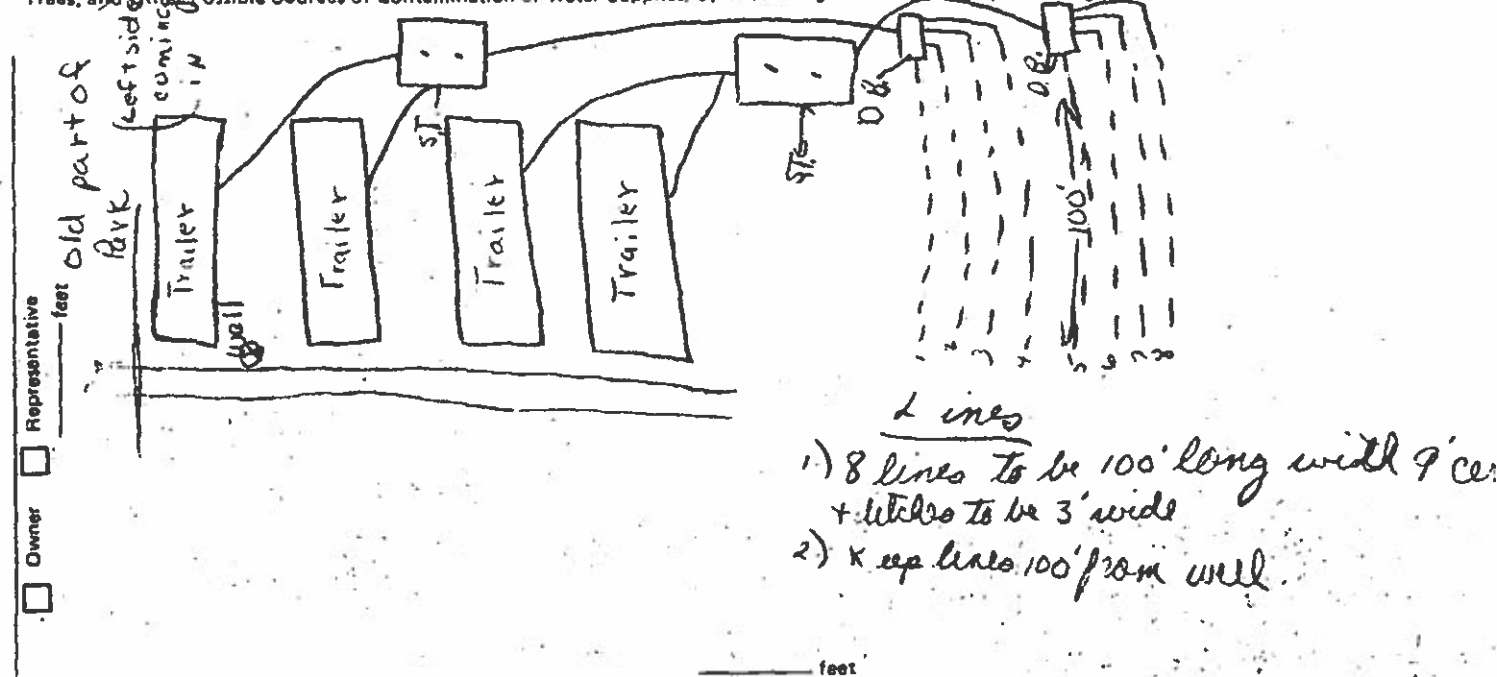
(2) SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No Technical Classification _____
 Estimated Percolation Rate 1-10 ☐ 11-25 ☐ 26-50 ☒ > 51 ☐ Percolation Test Required ☐ Yes ☒ No ☐ Rate _____
 (Minutes per inch) (Minutes per inch to nearest 10 minutes)
 Depth to Grey Mottles _____ inches (estimate over 4 ft.) OTHER _____
 Surface drainage required ☐ Yes ☒ No OTHER DRAINAGE _____

(3) HOUSE SEWER LINE Size 4 inches. Type of material required C.I. Distance from Water Supply 50 feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Precast Material _____ Liquid Capacity 750 gallons.
 Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12"
 SUBSURFACE ABSORPTION FIELD. Number of square feet required 2400. Type aggregate required crushed stone

(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.
 Total aggregate minimum depth 13 inches or more. Depth of drainfield to be 36 inches from surface of original ground.
 Distance from well to septic tank 50 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Note: Owner or his agent must notify Henry G. Health Department, Phone 635-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date _____ Approved _____ (Reviewing Authority) Date 10/27/72 Signed Sam Nichols (Sanitarian or Health Director)

RECORD INSPECTION-SEWAGE DISPOSAL SYSTEM

Dred - 13-9
Parcel - 4
Lot - 9
Inv. 9

Date 8-11-72 Case No. 9

Owner F.A. Craig Address RT 2 Bassett, Va Phone _____
(Mailing Address)

Occupant Trailer Court Address _____ Phone _____
(Mailing Address)

Exact Location of Premises 220 N, 1 on S 7 W above Bassett on left about 2 5/10 mile
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☒ Yes ☐ No. Distance to nearest House Sewer 10 feet. Distance to nearest Sewage Disposal System 10 feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

(1) LOCATION

Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines 10 feet. Trees 10 feet. Water Supplies 10 feet. Buildings 10 feet.

(2) INSTALLATION AND DESIGN

Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other None
(Describe)

(3) SOIL CONDITION

Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.

(4) HOUSE SEWER LINE

Installed ☒ Yes ☐ No. Type of material C.T. Size 4 Inches.

(5) SEPTIC TANK

Constructed of Concrete
(Kind of Material)
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.

(6) DISTRIBUTION BOX

Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with 2 extra outlets for future use.
(Number)

(7) SUBSURFACE ABSORPTION FIELD

Total Area in bottom of ditches 25 square feet. Number of ditches 1 Length of ditches _____ feet. Grade of ditches Minimum 2 Inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level) ☐ Yes ☒ No. Type aggregate used crushed stone. Depth of aggregate under Tile 10 inches. Total depth of aggregate 16 inches. Depth of backfill over aggregate 49 inches.

(8) SURFACE DRAINAGE

Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No. Was Surface Drainage required ☐ Yes ☒ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☒ No. ☐ Not required.

(9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor Fieldale Cement Products Address Fieldale, Va Phone _____

This Sewage Disposal System (Is) (Is Not) Approved by Henry Co. Health Department

Date 8-11-72 Signed Sam Nichols Date _____ Approved _____
(Sanitarian) (Health Director)

Date _____ Approved _____ Date _____ Approved _____
(Advisory Sanitarian) (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

WATER SUPPLY

SEWAGE DISPOSAL SYSTEM

PERMIT TO INSTALL

REPAIR

REASON FOR REJECTION

- (1) Valid after (12) twelve months. (2) Automatically cancelled when site conditions are changed from those shown on permit. (3) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.

FHA/VA ☐ Yes ☒ No

Date 8-10-72

Case No. INV-6

Owner F.A. Craig

Address Rt 2, Bassett

Phone

Occupant Trailer Court

Address

Phone

Exact Location

of premises

220 N, 57 W above Bassett about 2.5 mi on right left trailer court

FOR: ☐ Dwelling ☒ Other Apartment Automatic Washing Machine ☐ Yes ☐ No Consumption gal. per day
Actual ☐ Potential ☐ Bedrooms ☐ Garbage Disposal Unit ☐ Yes ☐ No (☐ Actual ☐ estimated Water)
Additional wastes

(1) WATER SUPPLY (Existing) Class III Approved ☒ Yes ☐ No
(To be installed) Class Cased ft. to be grouted ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

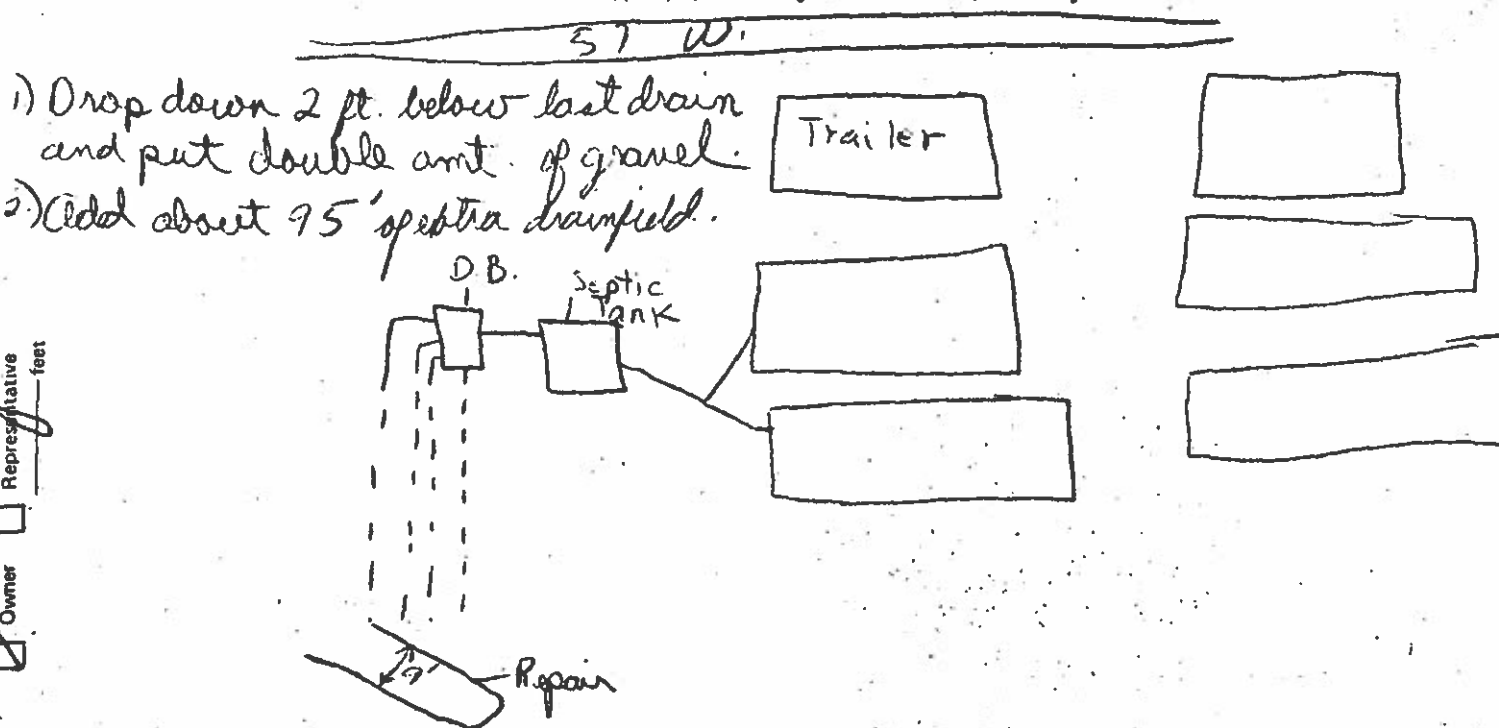
(2) SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No Technical Classification (If Known)
Estimated Percolation Rate 1-10 ☐ 11-25 ☐ 26-50 ☒ > 51 ☐ Percolation Test Required ☐ Yes ☐ No ☒ Rate (Minutes per inch to nearest 10 minutes)
Depth to Grey Mottles inches (estimate over 4 ft.) OTHER OTHER DRAINAGE
Surface drainage required ☐ Yes ☒ No

(3) HOUSE SEWER LINE Size 4 inches. Type of material required C.I. Distance from Water Supply 50 feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of concrete Material Liquid Capacity 960 gallons.
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12" feet.

SUBSURFACE ABSORPTION FIELD Number of square feet required 800 Type aggregate required crushed stone
(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.
Total aggregate minimum depth 13 inches or more. Depth of drainfield to be 40 inches from surface of original ground.
Distance from well to septic tank 10 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify Henry G. Health Department, Phone 638-2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or its agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 8-10-72 Approved Sam Vicks

Date 8-10-72 Signed Sam Vicks

LHS - 121 REV. 12/71

(Reviewing Authority)

INDICATE

(Sanitarian or Health Director)

RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM

Trick 13-9
Parcel - A
lot - 48

Owner Craig & D. Address RTG, Bassett, Va. Date 4/21/79 Case No. 100-48
 Occupant 2-Two Address _____ Phone _____
 (Mailing Address) (Mailing Address)
 Exact Location of Premises 5700, on 1 acre is from "601"
 (Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☒ Yes ☐ No Distance to nearest House Sewer 100 feet. Distance to nearest Sewage Disposal System 100 feet. (Use Form LHS-143 for Detailed Inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
 Allotted Area adequate ☒ Yes ☐ No Distance from nearest lot lines 100 feet. Trees _____ feet. Water Supplies 100 feet. Buildings _____ feet.
- (2) INSTALLATION AND DESIGN
 Installed according to Permit Design ☒ Yes ☐ No
 Have additional Household Appliances been added NOT on Permit:
☐ Automatic Washer ☐ Garbage Disposal
☐ Other none (Describe)
- (3) SOIL CONDITION
 Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
 Installed ☒ Yes ☐ No Type of material Plas Size _____ Inches.
- (5) SEPTIC TANK Precast (Existing)
 Constructed of _____ (Kind of Material)
 Inside Dimensions Length _____ feet. Width _____ feet.
 Liquid Depth _____ feet. Depth of Air Space _____ inches.
 Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
 Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No Distribution Box provided with 2 extra outlets for future use. (Number)
- (7) SUBSURFACE ABSORPTION FIELD
 Total Area in bottom of ditches 1200 square feet.
 Number of ditches 4 Length of ditches 100 feet.
 Grade of ditches Minimum 4 inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No.
 Type aggregate used crushed stone
 Depth of aggregate under Tile 6 inches
 Total depth of aggregate 12 inches
 Depth of backfill over aggregate 36-42 inches
- (8) SURFACE DRAINAGE
 Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☒ Yes ☐ No Was Surface Drainage required ☐ Yes ☒ No If Yes, has this been provided ☐ Yes ☐ No Has area been drained by lowering Ground Water Table: ☐ Yes ☒ No ☐ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Bernard Murphy Address Patrick Co. Phone _____
 This Sewage Disposal System (Is) (Is Not) Approved by Henry Co. Health Department
 Date 6/21/79 Signed Sam Wilkins - Food D. (Sanitarian)
 Date _____ Approved _____ (Reviewing Authority)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

INSTALL ☒ REPAIR ☒ REASONS FOR REJECTION ☐ *Just*
WATER SUPPLY ☒ SEWAGE DISPOSAL SYSTEM ☒ *Rec'd*

(1) Automatically cancelled should facts later become known that a potential hazard would be created by continuing installation.
(2) Automatically cancelled when site conditions are changed from those shown on permit.
(3) Automatically cancelled after (12) twelve months.

Owner Craig J. Ut FHA/Va ☐ Yes ☒ No Date 6/20/79 Case No. 101
Address Atk, Bassett, Va Phone _____
(Mailing Address)

Occupant 2 Trs Address _____ Phone _____
(Mailing Address)

Exact Location of premises 57W, on 2 acres from #601
(Subdivision, Street or Road Name, Section or Lot No.)

FOR: ☐ Dwelling ☐ Other 2 Trs Automatic Washing Machine ☒ Yes ☐ No Consumption 600 gal. per day
Actual ☐ Potential ☐ Bedrooms _____ Garbage Disposal Unit ☐ Yes ☒ No (☐ Actual ☒ Estimated Water)
Additional wastes _____

(1) WATER SUPPLY (Existing) Class III Approved ☐ Yes ☐ No Other _____
(To be installed) Class _____ Cased _____ ft. to be grouted _____ ft.

(Unless supported by positive evidence Class III is to be considered as to be installed.)

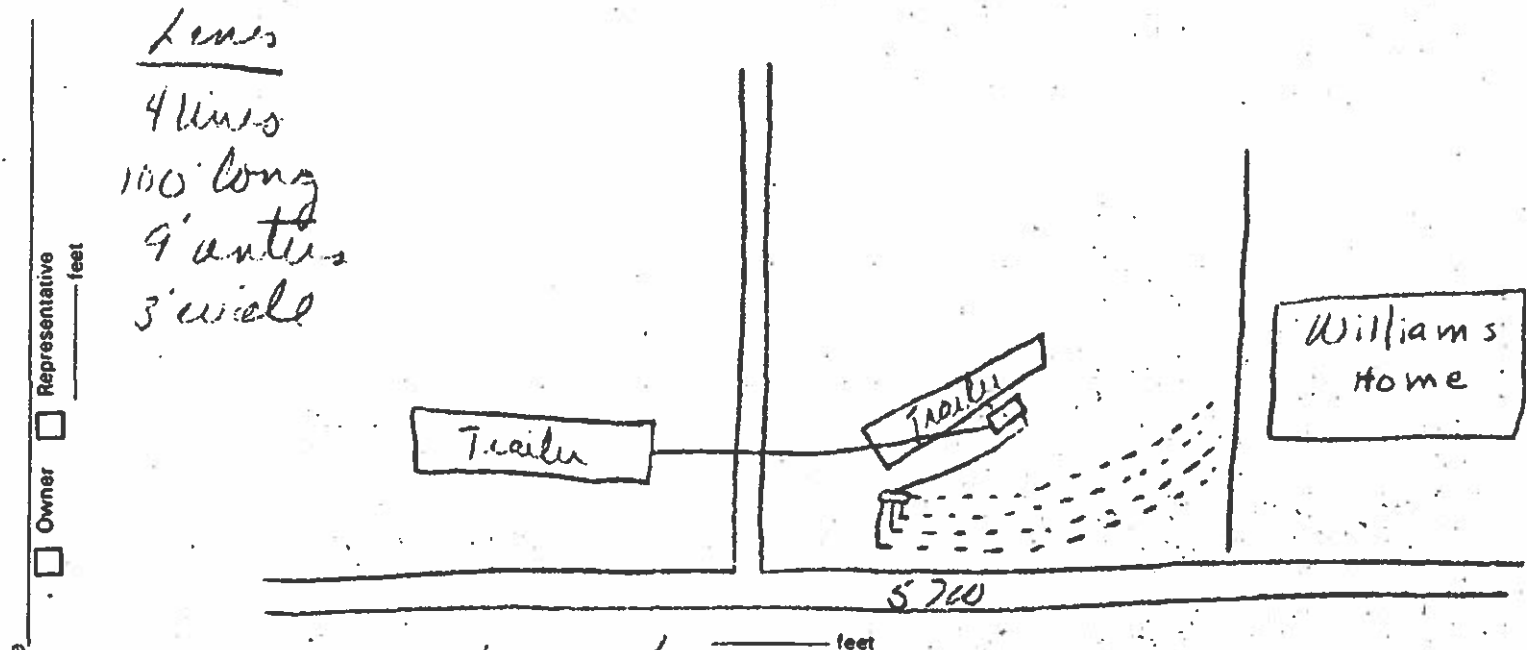
SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No Technical Classification _____
(2) Estimated Percolation Rate 1-10 ☐ 11-25 ☐ 26-50 ☒ > 51 Percolation Test Required ☐ Yes No ☒ Rate _____
(Minutes per inch) (Minutes per inch to nearest 10 minutes)
Depth to Grey Mottles _____ inches (estimate over 4 ft.) OTHER _____
Surface drainage required ☐ No ☒ OTHER DRAINAGE _____

(3) HOUSE SEWER LINE Size 4 inches. Type of material required Plas Distance from Water Supply _____ feet.

(4) DETAILS OF CONSTRUCTION Watertight Septic Tank of Epoxy Material Liquid Capacity 900 gallons.
Inside Dimensions Length _____ feet. Width _____ feet. Liquid Depth _____ feet. Depth of Air Space _____ feet.

SUBSURFACE ABSORPTION FIELD Number of square feet required 1200 Type aggregate required crushed stone
(5) Depth of aggregate from base of tile to bottom of ditches 6 inches. Allowable fall 2 to 4 inches.
Total aggregate minimum depth 18 inches or more. Depth of drainfield to be 36 inches from surface of original ground.
Distance from well to septic tank 50 feet; distance from well to drainfield 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.)



Note: Owner or his agent must notify _____ Health Department, Phone 635-2377 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date _____ Approved _____ (Reviewing Authority) Date 6/20/79 Signed Sam Nichols (Sanitarian or Health Director)

RECORD OF INSPECTION-SEWAGE DISPOSAL SYSTEM

June 13/9

Date 3-23-65 Case No.

Owner F.A. CRAIG Address Rt 2 Bassett Phone _____
 (Mailing Address)
 Occupant Trailer Park Address _____ Phone _____
 (Mailing Address)
 Exact Location of Premises See layout
 (Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☐ Yes ☐ No. Distance to nearest House Sewer _____ feet. Distance to nearest Sewage Disposal System _____ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
 Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines NA feet. Trees NA feet. Water Supplies _____ feet. Buildings 20 feet.
- (2) INSTALLATION AND DESIGN
 Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other none (Describe)
- (3) SOIL CONDITION
 Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
 Installed ☒ Yes ☐ No. Type of material CIT. Size 4 inches.
- (5) SEPTIC TANK
 Constructed of Precast (Kind of Material). Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX good
 Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with 2 extra outlets for future use. (Number)
- (7) SUBSURFACE ABSORPTION FIELD
 Total Area in bottom of ditches 3200 square feet. Number of ditches 12. Length of ditches 80 feet. Grade of ditches Minimum _____ inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level) ☐ Yes ☒ No. Type aggregate used Broken stone. Depth of aggregate under Tile 6 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 20-30 inches.
- (8) SURFACE DRAINAGE
 Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☐ Yes ☐ No. Was Surface Drainage required ☐ Yes ☐ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☐ No. ☒ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Fieldal Cement Products Co. Address Fieldale Phone _____
 This Sewage Disposal System (Is) (Is Not) Approved by Henry County Health Department.
 Date 3-23-65 Signed Dagway (Sanitarian) Date _____ Approved _____ (Health Director)
 Date _____ Approved _____ (Advisory Sanitarian) Date _____ Approved _____ (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

**PERMIT TO INSTALL OR REPAIR
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS
(VOID AFTER TWELVE (12) MONTHS)**

Owner F. A. CRAIG Address Rt 2 Bassett Phone _____
 Occupant Trailer Park Address _____ Phone _____
 Exact Location of Premises US Route 57 1 1/2 miles west of Bassett
 (Subdivision, Street or Road Name, Section or Lot No.)

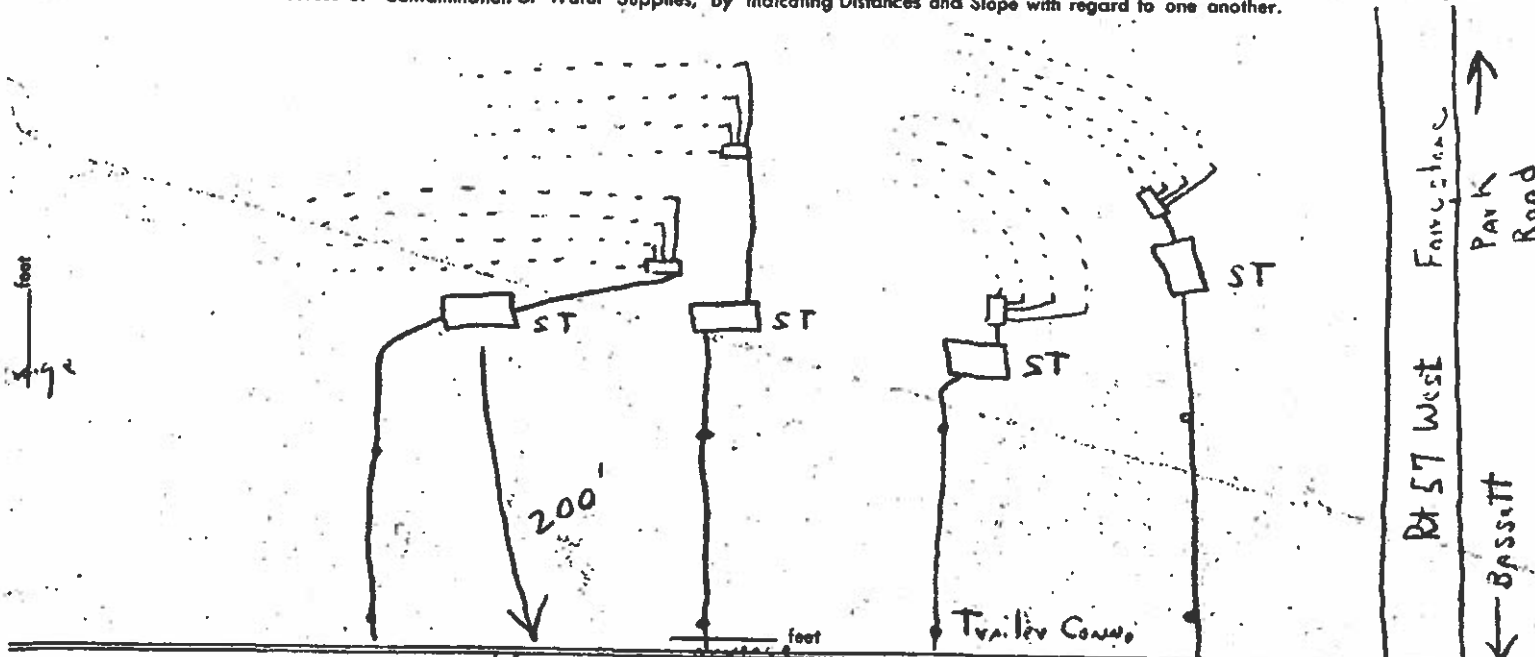
OWNER DESIRES TO
☒ INSTALL
☐ Water Supply System
☒ Sewage Disposal System
☒ Septic Tank
 Health Department recommends _____

FOR
☐ Dwelling ☒ Other 8 (Trailer Park)
 Actual or potential Bedrooms 16 Actual or estimated Water Consumption 2400 gal. per day Automatic Washing Machine ☒ Yes ☐ No
 Garbage Disposal unit ☐ Yes ☐ No
 Additional wastes none

DETAILS OF RECOMMENDED SYSTEMS

- (1) WATER SUPPLY Location to be approved by Sanitarian. Type
☒ Drilled Well ☐ Driven Well ☐ Bored Well ☐ Dug Well
☐ Other _____ Cased _____ feet.
- Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump room floor. Grouted _____ feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.
- (2) SOIL STUDY Naturally drained, suitable by sight ☒ Yes ☐ No
 Technical Classification _____
 Rough Classification ☐ Sandy ☒ Medium ☐ Clay ☐ Pipe Clay. Percolation Test required ☐ Yes ☒ No. Rate _____ Minutes per inch. Depth of Water Table 7.10 feet (Estimated)
 Surface drainage required ☐ Yes ☒ No Area Drainage by Lowering Ground Water Table required ☐ Yes ☒ No
- (3) DETAILS OF CONSTRUCTION Watertight Septic Tank of 4 Precast (Kind of Material) Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 1 feet. Liquid Capacity 1000 gallons.
- (4) HOUSE SEWER LINE Size 4 inches. Type of material required GLT. Distance from Water Supply 200 feet.
- (5) SUBSURFACE ABSORPTION FIELD Distribution Box required. Ditches of equal length required. 3200 Type aggregate required ☒ Broken Stone ☐ Gravel ☐ Slag. Size range from 1/2 inches to 2 1/2 inches. Depth of aggregate from base of tile to bottom of ditches 6 inches. Total aggregate must equal minimum depth of 13 inches or more. Soil Cover over tile not to exceed 30 inches. Distance from well to septic tank 200 feet; distance from well to drain tile field 200 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Note: Owner or his agent must notify _____ Health Department, Phone 638 2311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 3-23-65 Approved _____ Signed _____
 LHS - 121 Rev. 1-65 (Reviewing Authority) (Sanitarian or Health Director)
 Virginia State Department of Health

RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM *Ind 13-9*

Date *6-30-65* Case No. _____

Owner *FA CMIC* Address *Rt 2 Boney* Phone _____
(Mailing Address)

Occupant *Travis Park* Address _____ Phone _____
(Mailing Address)

Exact Location of Premises *S 2nd St. S. E. above Boney*
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☐ Yes ☐ No. Distance to nearest House Sewer _____ feet. Distance to nearest Sewage Disposal System _____ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines *112* feet. Trees *112* feet. Water Supplies *647* feet. Buildings *112* feet.
- (2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other *None*
(Describe)
- (3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☐ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
Installed ☒ Yes ☐ No. Type of material *CIT & O*
Size *4* Inches.
- (5) SEPTIC TANK
Constructed of *Block*
(Kind of Material)
Inside Dimensions Length *8* feet. Width *4* feet. Liquid Depth *4* feet. Depth of Air Space *12* inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with _____ (Number) extra outlets for future use.
- (7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches *500* square feet. Number of ditches *4* Length of ditches *50* feet. Grade of ditches Minimum *2* Inches per 100 feet. Maximum *4* inches per 100 feet. Has system been checked by instruments (Level) ☐ Yes ☒ No. Type aggregate used *Gravel*. Depth of aggregate under Tile _____ inches. Total depth of aggregate *12* inches. Depth of backfill over aggregate *15* inches.
- (8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☐ Yes ☐ No. Was Surface Drainage required ☐ Yes ☐ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☒ No. ☐ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: *Fieldale Concrete Products Co.* Address *Fieldale* Phone _____

This Sewage Disposal System (Is) (Is Not) Approved by *Henry County* Health Department.

Date *6-30-65* Signed *NA* (Sanitarian) Date _____ Approved _____ (Health Director)

Date _____ Approved _____ (Advisory Sanitarian) Date _____ Approved _____ (Reviewing Authority — Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks: _____

Good job in court.

**PERMIT TO INSTALL OR REPAIR
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS
(VOID AFTER TWELVE (12) MONTHS)**

Date 6-30-65 Case No. _____

Owner F.A. Craig Trailer Court Address Banett Rd 2 Phone _____
(Mailing Address)

Occupant Trailer Park Address _____ Phone _____
(Mailing Address)

Exact Location of Premises SW on left above Banett Smiles
(Subdivision, Street or Road Name, Section or Lot No.)

OWNER DESIRES TO

☒ **INSTALL**

- ☐ Water Supply System
☐ Sewage Disposal System
☒ Septic Tank

☐ **REPAIR**

- ☐ Water Supply System
☐ Sewage Disposal System
☐ Septic Tank

FOR

- ☐ Dwelling ☒ Other 2 Trailers
Actual or potential Bedrooms _____ Actual or estimated Water Consumption _____ gal. per day Automatic Washing Machine ☐ Yes ☐ No Garbage Disposal unit ☐ Yes ☐ No
Additional wastes _____

Health Department recommends _____

DETAILS OF RECOMMENDED SYSTEMS

- (1) **WATER SUPPLY** Location to be approved by Sanitarian. Type
☐ Drilled Well ☐ Driven Well ☐ Bored Well ☐ Dug Well
☐ Other Existing Cased _____ feet.

Casing to be properly sealed and grouted if necessary. Casing to extend at least 6 inches above pump room floor. Grouted _____ feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

- (2) **SOIL STUDY** Naturally drained, suitable by sight ☒ Yes ☐ No
Technical Classification _____

Rough Classification ☐ Sandy ☒ Medium ☐ Clay ☐ Pipe Clay. Percolation Test required ☐ Yes ☒ No. Rate _____ Minutes per inch. Depth of Water Table 50 feet (Estimated)

Surface drainage required ☐ Yes ☒ No Area Drainage by Lowering Ground Water Table required ☐ Yes ☒ No

- (3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of Precast Inside Dimensions Length 8 feet.
(Kind of Material)

Width 4 feet Liquid Depth 4 feet Depth of Air Space 1 feet Liquid Capacity 100 gallons.

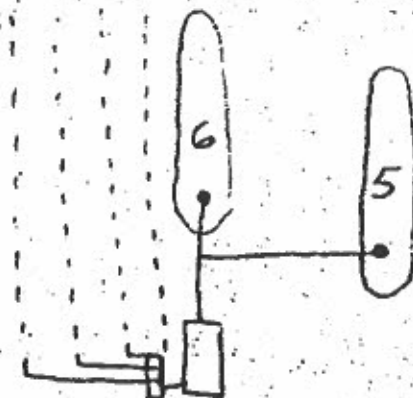
- (4) **HOUSE SEWER LINE** Size 4 inches. Type of material required CI. Distance from Water Supply 50+ feet.

- (5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required. Ditches of equal length required.

Number of square feet required 800 Type aggregate required ☒ Broken Stone ☐ Gravel ☐ Slag. Size range from $\frac{1}{2}$ inches to $2\frac{1}{2}$ inches. Depth of aggregate from base of tile to bottom of ditches 6 inches.

Total aggregate must equal minimum depth of 13 inches or more. Soil Cover over tile not to exceed 20 inches. Distance from well to septic tank 50+ feet; distance from well to drain tile field 100+ feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Acres 1.4

Note: Owner or his agent must notify Henry C. Campbell Health Department, Phone 618-2211 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date _____ Approved _____ Date 6-30-65 Signed RTS
LHS - 121 Rev. 1-63 (Reviewing Authority) (Sanitarian or Health Director)

RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM

Final 13-9

7-1-65

Date Case No.

Owner E. A. CRAIG Address Rt #2 Barnett Phone _____
(Mailing Address)

Occupant Travis Park Address _____ Phone _____
(Mailing Address)

Exact Location of Premises 52 W 5 miles above Barnett
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☐ Yes ☐ No. Distance to nearest House Sewer _____ feet. Distance to nearest Sewage Disposal System _____ feet. (Use Form LHS-143 for Detailed inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot line NA feet. Trees 25 feet. Water Supplies NA feet. Buildings 10 feet.
- (2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other NA
(Describe)
- (3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
Installed ☒ Yes ☐ No. Type of material C1 L & O
Size 4 Inches.
- (5) SEPTIC TANK
Constructed of Precast
(Kind of Material)
Inside Dimensions Length 8 feet. Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with _____ (Number) extra outlets for future use.
- (7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches 800 square feet. Number of ditches 4. Length of ditches 80 feet. Grade of ditches Minimum 2 inches per 100 feet. Maximum 4 inches per 100 feet. Has system been checked by instruments (Level) ☒ Yes ☐ No. Type aggregate used C. Depth of aggregate under Tile 12 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 14 inches.
- (8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☐ Yes ☐ No. Was Surface Drainage required ☒ Yes ☐ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☐ No. ☒ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Feltale Cement Products CO Address Feltale Phone _____

This Sewage Disposal System (Is) (Is Not) Approved by Henry Combs Health Department

Date 7-1-65 Signed Henry Combs Date _____ Approved _____
(Sanitarian) (Health Director)

Date _____ Approved _____ Date _____ Approved _____
(Advisory Sanitarian) (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

Good job in cont.

TRIPPLICATE
PERMIT TO INSTALL OR REPAIR
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS
(VOID AFTER TWELVE (12) MONTHS)

Date 6-30-65 Case No. _____

Owner E. A. CRAIG Address Rt 42 Bissett Phone _____
 (Mailing Address)

Occupant Trailer Park Address _____ Phone _____
 (Mailing Address)

Exact Location of Premises SW 5 miles from Bissett
 (Subdivision, Street or Road Name, Section or Lot No.)

OWNER DESIRES TO:

- ☒ **INSTALL**
☐ Water Supply System
☐ Sewage Disposal System
☒ Septic Tank

- ☐ **REPAIR**
☐ Water Supply System
☐ Sewage Disposal System
☐ Septic Tank

FOR

- ☐ Dwelling ☐ Other 2 Trailers
 Actual or potential Bedrooms _____ Actual or estimated Water Consumption _____ gal. per day Automatic Washing Machine ☐ Yes ☐ No Garbage Disposal unit ☐ Yes ☐ No
 Additional wastes _____

Health Department recommends _____

DETAILS OF RECOMMENDED SYSTEMS

- (1) **WATER SUPPLY** Location to be approved by Sanitarian. Type
☐ Drilled Well ☐ Driven Well ☐ Bored Well ☐ Dug Well
☐ Other existing Cased _____ feet.

Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump room floor. Grouted _____ feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

- (2) **SOIL STUDY** Naturally drained, suitable by sight ☒ Yes ☐ No
 Technical Classification _____
 Rough Classification ☐ Sandy ☒ Medium ☐ Clay ☐ Pipe Clay. Percolation Test required ☐ Yes ☒ No. Rate _____ Minutes per inch. Depth of Water Table > 70 feet (Estimated)

Surface drainage required ☐ Yes ☒ No. Area Drainage by Lowering Ground Water Table required ☐ Yes ☒ No

- (3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of _____
 (Kind of Material) Inside Dimensions Length _____ feet.

Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 1 feet. Liquid Capacity 1000 gallons.

- (4) **HOUSE SEWER LINE** Size 4 inches. Type of material required CI. Distance from Water Supply 50 feet.

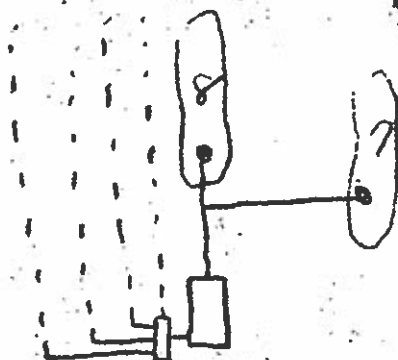
- (5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required. Ditches of equal length required.

Number of square feet required 800. Type aggregate required ☐ Broken Stone ☐ Gravel ☐ Slag. Size range from $\frac{1}{2}$ inches to 2 $\frac{1}{2}$ inches. Depth of aggregate from base of tile to bottom of ditches 6 inches.

Total aggregate must equal minimum depth of 13 inches or more.

Soil Cover over tile not to exceed 3 inches. Distance from well to septic tank 50 feet; distance from well to drain tile field 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Note: Owner or his agent must notify _____ Health Department, Phone 678-1311 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. **CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN.** Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date _____ Approved _____ Date _____ Signed _____
 LHS - 121 Rev. 1-65 (Reviewing Authority) (Sanitarian or Health Director)

Sewage Disposal System Construction Permit

PAGE 1 OF 2

Commonwealth of Virginia
Department of Health



Health Department
Identification Number 100-58-0000
Map Reference 100-5

Health Department

General Information

New ☐ Repair ☒ Expanded ☐ Conditional ☐ FHA ☐ VA ☐ Case No. _____
Based on the application for a sewage disposal system construction permit filed in accordance with Section 3.13.01, a construction permit is hereby issued to:
Owner VADE CORP 510 J.T. ... Telephone 679-5958
Address PO Box 1, Bassett
For a Type 1 1/2" up Sewage disposal system which is to be constructed on/at 574 ...
Subdivision ... Section/Block _____ Lot 5-10
Actual or estimated water use 750 GPD (5 ...)

DESIGN

NOTE: INSPECTION RESULTS

Water supply: existing: (describe) ...
To be installed: class _____
cased _____ grouted _____

Water supply location: Satisfactory yes ☐ no ☐
comments _____
G. W. 2 Received: yes ☐ no ☐ not applicable ☒

Building sewer: _____ I.D. PVC 40, or equivalent.
Slope 1.25" per 10' (minimum).
☐ Other ...

Building sewer: yes ☒ no ☐ comments
Satisfactory

Septic tank: Capacity _____ gals. (minimum).
☐ Other ...

Pretreatment unit: yes ☒ no ☐ comments
Satisfactory

Inlet-outlet structure:
PVC 40, 4" tees or equivalent.
☐ Other ...

Inlet-outlet structure: yes ☒ no ☐ comments
Satisfactory

Pump and pump station:
No ☒ Yes ☐ describe and show design.
If yes: _____

Pump & pump station: yes ☐ no ☒ comments
Satisfactory ...

Gravity mains: 3" or larger I.D., minimum 6" fall per 100', 1500 lb. crush strength or equivalent.
☒ Other ...

Conveyance method: yes ☒ no ☐ comments
Satisfactory

Distribution box:
Precast concrete with 5 ports.
☐ Other _____

Distribution box: yes ☒ no ☐ comments
Satisfactory

Header lines:
Material: 4" I.D. 1500 lb. crush strength plastic or equivalent from distribution box to 2' into absorption trench.
Slope 2" minimum.
☐ Other _____

Header lines: yes ☒ no ☐ comments
Satisfactory

Percolation lines:
Gravity 4" plastic 1000 lb. per foot bearing load or equivalent, slope 2" 4" (min. max.) per 100'.
☐ Other _____

Percolation lines: yes ☐ no ☐ comments
Satisfactory

Absorption trenches:
Square ft. required _____; depth from ground surface to bottom of trench _____; aggregate size _____;
Trench bottom slope _____; center to center spacing _____; trench width _____;
Depth of aggregate _____;
Trench length _____; Number of trenches _____

Absorption trenches: yes ☐ no ☐ comments
Satisfactory

Date _____ Inspected and approved by: _____

Sanitarian

Health Department
Identification Number

144-88-0254

Schematic drawing of sewage disposal system and topographic features.

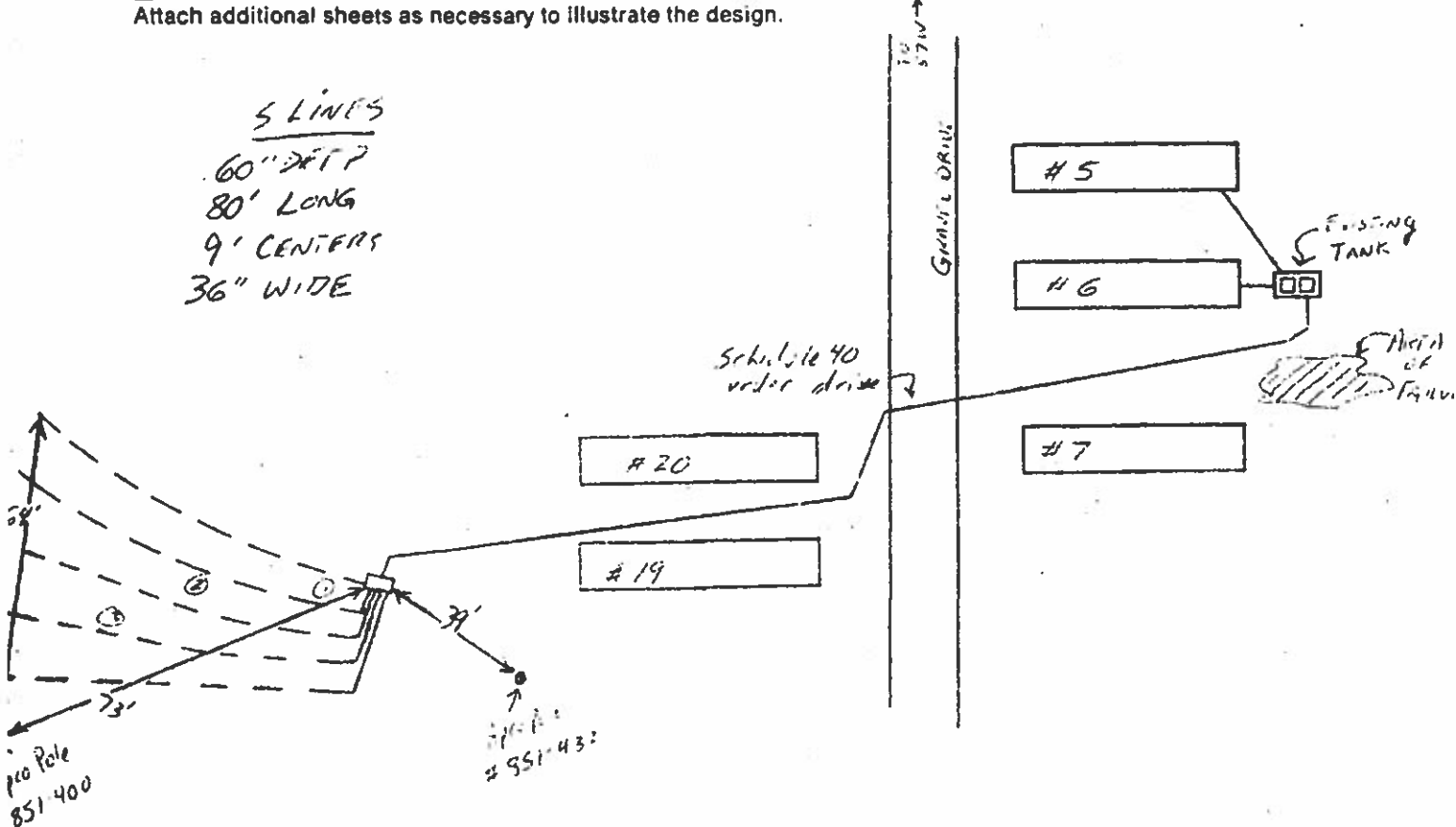
PAGE 2 OF 2

Show the lot lines of the building lot and building site, sketch of property showing any topographic features which may impact on the design of the system, all existing and/or proposed structures including sewage disposal systems and wells within 100 feet of sewage disposal system and reserve area. The schematic drawing of the sewage disposal system shall show sewer lines, pretreatment unit, pump station, conveyance system, and subsurface soil absorption system, reserve area, etc. When a nonpublic drinking water supply is to be located on the same lot show all sources of pollution within 100 feet.

NOT TO SCALE

☐ The information required above has been drawn on the attached copy of the sketch submitted with the application. Attach additional sheets as necessary to illustrate the design.

5 LINES
60" DFT
80' LONG
9' CENTERS
36" WIDE



The sewage disposal system is to be constructed as specified by the permit ☒ or attached plans and specifications ☐.

This sewage disposal system construction permit is null and void if (a) conditions are changed from those shown on the application (b) conditions are changed from those shown on the construction permit.

No part of any installation shall be covered or used until inspected, corrections made if necessary, and approved, by the local health department or unless expressly authorized by the local health dept. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon the direction of the Department.

Date: 4-1-88 Issued by: P. S. Smith

Sanitarian

Date: 4-1-88 Reviewed by: J. M. Smith

Supervisory Sanitarian

This Construction
Permit Valid until

If FHA or VA financing

Reviewed by Date

Supervisory Sanitarian

Date

Regional Sanitarian

Sewage Disposal System Construction Permit

Commonwealth of Virginia
Department of Health

Health Department



Health Department
Identification Number
Map Reference

104-95-0182
13-9

General Information

New ☐ Repair ☒ Expanded ☐ Conditional ☐ FHA ☐ VA ☐ Case No. _____
Based on the application for a sewage disposal system construction permit filed in accordance with Section 3.13.01, a construction permit is hereby issued to:
Owner Deborah Williams - J.S. Williams Telephone 629-5458
Address POB 1 Bassett, VA.
For a Type _____ Sewage disposal system which is to be constructed on/at 524 L. into 1045 MHP
Subdivision 1045 MHP Section/Block _____ Lot 7-8
Actual or estimated water use 482 GAL (600 GPD)

DESIGN

Water supply, existing: (describe) existing public
To be installed: class _____
cased _____ grouted _____

Building sewer:
Existing I.D. PVC 40, or equivalent.
Slope 1.25" per 10' (minimum).
☐ Other _____

Septic tank: Capacity existing gals. (minimum).
☐ Other _____

Inlet-outlet structure:
PVC 40, 4" tees or equivalent.
☐ Other Reg. all outlet

Pump and pump station:
No ☐ Yes ☐ describe and show design.
if yes: _____

Gravity mains: 3" or larger I.D., minimum 6" fall per 100', 1500 lb. crush strength or equivalent.
☐ Other _____

Distribution box:
Precast concrete with 6-8 ports.
☐ Other _____

Header lines:
Material: 4" I.D. 1500 lb. crush strength plastic or equivalent from distribution box to 2' into absorption trench.
Slope 2" minimum.
☐ Other _____

Percolation lines:
Gravity 4" plastic 1000 lb. per foot bearing load or equivalent, slope 2" 4" (min. max.) per 100'.
☐ Other _____

Absorption trenches:
Square ft. required 1206; depth from ground surface to bottom of trench 46"; aggregate size 5-1.5"
Trench bottom slope 2-4" per 100'; center to center spacing 9'; trench width 36"
Depth of aggregate 13"
Trench length 100'; Number of trenches 4

NOTE: INSPECTION RESULTS

Water supply location: Satisfactory yes ☐ no ☐
comments _____

G. W. 2 Received: yes ☐ no ☐ not applicable ☒

Building sewer: yes ☒ no ☐ comments _____
Satisfactory

Pretreatment unit: yes ☒ no ☐ comments _____
Satisfactory

Inlet-outlet structure: yes ☒ no ☐ comments _____
Satisfactory

Pump & pump station: yes ☐ no ☒ comments _____
Satisfactory

Conveyance method: yes ☒ no ☐ comments _____
Satisfactory

Distribution box: yes ☒ no ☐ comments _____
Satisfactory

Header lines: yes ☒ no ☐ comments _____
Satisfactory

Percolation lines: yes ☒ no ☐ comments _____
Satisfactory

Absorption trenches: yes ☒ no ☐ comments _____
Satisfactory

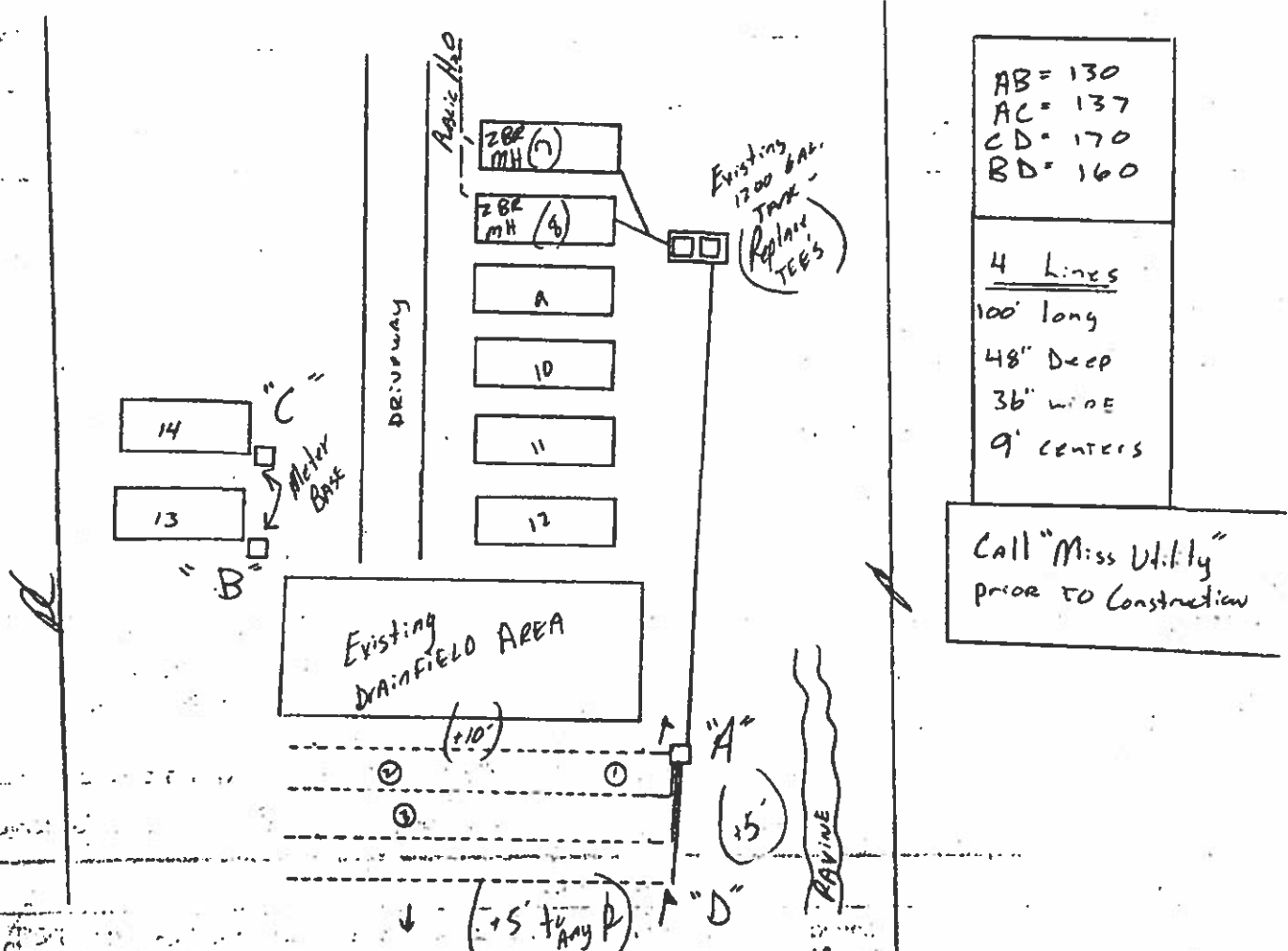
Date 4-28-15 Inspected and approved by:
Reg. Max
Sanitarian

Schematic drawing of sewage disposal system and topographic features.

PAGE 2 OF 2

Show the lot lines of the building lot and building site, sketch of property showing any topographic features which may impact on the design of the system, all existing and/or proposed structures including sewage disposal systems and wells within 100 feet of sewage disposal system and reserve area. The schematic drawing of the sewage disposal system shall show sewer lines, pretreatment unit, pump station, conveyance system, and subsurface soil absorption system, reserve area, etc. When a nonpublic drinking water supply is to be located on the same lot show all sources of pollution within 100 feet.

☒ The information required above has been drawn on the attached copy of the sketch submitted with the application. Attach additional sheets as necessary to illustrate the design.



The sewage disposal system is to be constructed as specified by the permit ☒ or attached plans and specifications ☐.

This sewage disposal system construction permit is null and void if (a) conditions are changed from those shown on the application (b) conditions are changed from those shown on the construction permit.

No part of any installation shall be covered or used until inspected, corrections made if necessary, and approved, by the local health department or unless expressly authorized by the local health dept. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon the direction of the Department.

Date: 4-26-95 Issued by: Roger A. Marry

Date: 4-27-95 Reviewed by: John W. [Signature]

This Construction Permit Valid until 10-26-96

If FHA or VA financing

Reviewed by Date _____ Date _____

Supervisory Sanitarian

Regional Sanitarian

RECORD OF INSPECTION SEWAGE DISPOSAL SYSTEM

13-9

Date 8-12-65 Case No.

Owner F. A. CRAIG Address BASSETT RD Phone

Occupant Trail Park Address (Mailing Address) Phone

Exact Location of Premises 57 Lane Bassett on left
(Subdivision, Street or Road Name, Section or Lot No.)

WATER SUPPLY INSPECTION

Installed according to Permit Design ☐ Yes ☐ No. Distance to nearest House Sewer _____ feet. Distance to nearest Sewage Disposal System _____ feet. (Use Form LHS-143 for Detailed Inspection of Water Supply Reference Materials.)

SEWAGE DISPOSAL SYSTEM INSPECTION

- (1) LOCATION
Allotted Area adequate ☒ Yes ☐ No. Distance from nearest lot lines 10 feet. Trees NA feet. Water Supplies 50 feet. Buildings NA feet.
- (2) INSTALLATION AND DESIGN
Installed according to Permit Design ☒ Yes ☐ No. Have additional Household Appliances been added NOT on Permit: ☐ Automatic Washer ☐ Garbage Disposal ☐ Other Describe
- (3) SOIL CONDITION
Are there soil conditions now evident which indicate system may be unsatisfactory as designed: ☐ Yes ☒ No. If Yes, show adjustments required under "Remarks" below.
- (4) HOUSE SEWER LINE
Installed ☒ Yes ☐ No. Type of material C/S Size 4 Inches.
- (5) SEPTIC TANK
Constructed of 2 Precast (Kind of Material)
Inside Dimensions Length 8 feet Width 8 feet. Liquid Depth 4 feet. Depth of Air Space 12 inches. Inside Fittings comply with requirements ☒ Yes ☐ No.
- (6) DISTRIBUTION BOX
Watertight and equal surcharge to each line by Water Test ☒ Yes ☐ No. Distribution Box provided with _____ (Number) extra outlets for future use.
- (7) SUBSURFACE ABSORPTION FIELD
Total Area in bottom of ditches 1600 square feet. Number of ditches 8 Length of ditches 80 feet. Grade of ditches Minimum 2 Inches per 100 feet. Maximum 4 Inches per 100 feet. Has system been checked by instruments (Level) ☐ Yes ☒ No. Type aggregate used broken stone. Depth of aggregate under Tile 6 inches. Total depth of aggregate 13 inches. Depth of backfill over aggregate 15 inches.
- (8) SURFACE DRAINAGE
Storm Drains from House and Basement flowing away from Subsurface Drainage Field: ☐ Yes ☐ No. Was Surface Drainage required ☐ Yes ☐ No. If Yes, has this been provided ☐ Yes ☐ No. Has area been drained by lowering Ground Water Table: ☐ Yes ☐ No. ☒ Not required.
- (9) Are follow-up inspections necessary ☐ Yes ☒ No.

Septic Tank Contractor: Fileable Cement Products Co. Address F. A. Craig Phone

This Sewage Disposal System (Is) (Is Not) Approved by Henry County Health Department

Date 8-12-65 Signed Henry (Sanitarian) Date _____ Approved _____ (Health Director)

Date _____ Approved _____ (Advisory Sanitarian) Date _____ Approved _____ (Reviewing Authority - Other Agency)

With proper maintenance, approved Sewage Disposal systems may be expected to function satisfactorily, provided no overloading or physical damage occurs to the system. Remarks:

good for cont

**PERMIT TO INSTALL OR REPAIR
WATER SUPPLY and/or SEWAGE DISPOSAL SYSTEMS
(VOID AFTER TWELVE (12) MONTHS)**

Date 8-12-65 Case No. _____

Owner F. A. Craig Address Barnett (RFD) Phone _____
(Mailing Address)

Occupant Trailer Park Address _____ Phone _____
(Mailing Address)

Exact Location of Premises S7 above Barnett on left
(Subdivision, Street or Road Name, Section or Lot No.)

OWNER DESIRES TO

- ☒ **INSTALL**
☐ Water Supply System
☐ Sewage Disposal System
☒ Septic Tank
 Health Department recommends _____
- ☐ **REPAIR**
☐ Water Supply System
☐ Sewage Disposal System
☐ Septic Tank

FOR

- ☐ Dwelling ☒ Other 4 trailers
 Actual or potential Bedrooms _____ Actual or estimated Water Consumption _____ gal. per day Automatic Washing Machine ☐ Yes ☐ No
☒ Yes ☐ No Garbage Disposal unit ☐ Yes ☐ No
 Additional wastes _____

DETAILS OF RECOMMENDED SYSTEMS

- (1) **WATER SUPPLY** Location to be approved by Sanitarian. Type ☒ Drilled Well ☐ Driven Well ☐ Bored Well ☐ Dug Well
☐ Other _____ Cased _____ feet _____

Casing to be properly sealed and vented if necessary. Casing to extend at least 6 inches above pump-room floor. Grouted _____ feet. All surface drainage to flow away from water supply. Well to have a platform of concrete or other impervious material, at least 4 inches thick at casing, extending at least 24 inches in all directions from casing, gently sloped for drainage.

- (2) **SOIL STUDY** Naturally drained, suitable by sight ☒ Yes ☐ No
 Technical Classification _____
 Rough Classification ☐ Sandy ☒ Medium ☐ Clay ☐ Pipe Clay. Percolation Test required ☐ Yes ☐ No. Rate _____ Minutes per inch. Depth of Water Table > 10 feet (Estimated)

Surface drainage required ☐ Yes ☒ No Area Drainage by Lowering Ground Water Table required ☐ Yes ☒ No

- (3) **DETAILS OF CONSTRUCTION** Watertight Septic Tank of _____
 (Kind of Material) Inside Dimensions Length 8 feet.

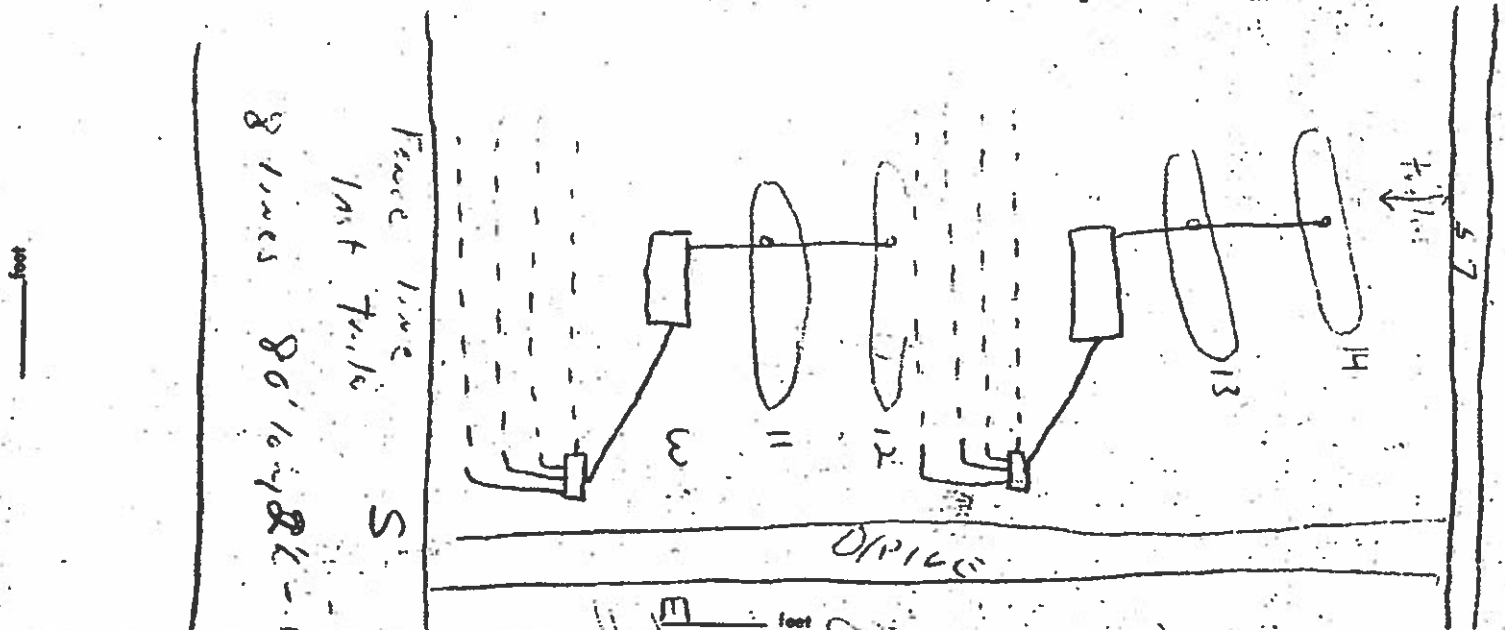
Width 4 feet. Liquid Depth 4 feet. Depth of Air Space 21 feet. Liquid Capacity 1000 gallons.

- (4) **HOUSE SEWER LINE** Size 4 inches. Type of material required C.I.P. Distance from Water Supply 50 feet.

- (5) **SUBSURFACE ABSORPTION FIELD** Distribution Box required. Ditches of equal length required. Number of square feet required 1600 Type aggregate required ☒ Broken Stone ☐ Gravel ☐ Slag. Size range from $\frac{1}{2}$ inches to $2\frac{1}{2}$ inches. Depth of aggregate from base of tile to bottom of ditches 6 inches.

Total aggregate must equal minimum depth of 13 inches or more. Soil Cover over tile not to exceed 36 inches. Distance from well to septic tank 50 feet; distance from well to drain tile field 100 feet.

Rough Sketch of Premises (including adjacent properties if pertinent, Showing Location of Lot Line, Buildings, Water Supplies, Sewage Disposal Systems, Trees, and Other Possible Sources of Contamination of Water Supplies, by Indicating Distances and Slope with regard to one another.



Note: Owner or his agent must notify _____ Health Department, Phone 658-2211 when installation is ready for inspection. If any Sewage Disposal System, or part thereof, is covered before being inspected by the Health Department, it shall be uncovered at the direction of the Health Director or his agent. CONDITIONS DISCOVERED DURING INSTALLATION MAY REQUIRE ADJUSTMENTS OF SYSTEM DESIGN. Changes from above specifications require Health Department approval before being made.

Based on the above information, the undersigned recommends that this permit be issued.

Date 8-12-65 Approved _____ Signed Harold A. Gray
 LHS - 121 Rev. 1-63 (Reviewing Authority) (Sanitarian or Health Director)
 Virginia State Department of Health



Henry-Martinsville Health Department
 295 Commonwealth Blvd.,
 P.O. Box 1032
 Martinsville, Virginia 24114
 (276) 638-2311 Voice
 (276) 638-3537 Fax

Septic Tank - Soil Absorption System Repair Permit

Health Department ID Number: **144 05 0071**

Owner/Agent Information	
Owner: Tim Moore 5565 Stones Dairy Rd. Bassett, Virginia 24055 Owner Phone: (276) 629-8274	
Location Information	
Property Address: 78 Spruce Pine Lane Tax Map: 13-9 Locality: Henry Directions: 57 West. Left Spruce Pine Lane, into Craig's MHP Lot 78 on right	
General Information	
System Type: septic tank effluent and drainfield	Daily Flow: 600 gallons
Type of Property: Residential	Number of Bedrooms: 4 maximum
Sewer Line	
3" or 4" Sch. 40 PVC or equivalent (cleanouts required at 50' to 60' intervals)	Distribution Box Information
	No. of Boxes: 1 No. of Outlets: 6
Conveyance Line/Force Main Information	
Method: Gravity Distribution Box	Header Line Information
Material: Minimum crush strength 1500#	
Pipe Diameter: 4"	
Slope: only for non-pump - 6" per 100'	ASTM F405 pipe or better (1500 # crush or equivalent) Minimum slope 2" per 100'
Septic Tank - Inlet/Outlet Structure	
Capacity: 1200 gallons existing The inlet structure shall be 1-2 inches higher than the outlet structure and shall extend 8-8 inches below and 8-10 inches above the normal liquid level. The outlet structure shall extend 35-40% below the normal liquid level and 8-10 inches above the normal liquid level. To comply with the maintenance requirements of 12 VAC 5-610-817 the septic tank must be provided with one of the following three options: 1) Inspection port, 2) Effluent filter, 3) Reduced maintenance tank	Percolation Lines and Absorption Area
	Slope: 2-4" per 100' Percolation lines: 4" diameter Center to Center Spacing: 9" Installation Depth: 60" Depth of Aggregate: 24", Size of aggregate: 0.5-1.5" Total Number of Laterals: 3 Laterals to be 100' long, x 3' wide Install 900 Square Feet Total Reserve area required:
Please Note: All excavations must comply with OSHA safety regulations. Divert roof drains and surface water from drainfield area. Drainfield shall be 5' minimum from property boundaries, 10' minimum from building foundations, and 20' minimum from below grade basements. Driveways and parking areas shall not be constructed over the distribution box unless adequate structural protection is provided and access provisions are made. Driveways and parking areas shall not be constructed over the drainfield unless the top of the gravel is deeper than 30 inches and the driveway is paved with Portland cement or bituminous concrete. Remove all maple trees and other hydrophyllic (water loving) plants from within 10' of drainfield area. Repair System: Substituted systems are not allowed. Water Supply = connection to public water system. Utilized all available area for septic repair.	

Construction Drawing

HD ID #: 144 05 0071

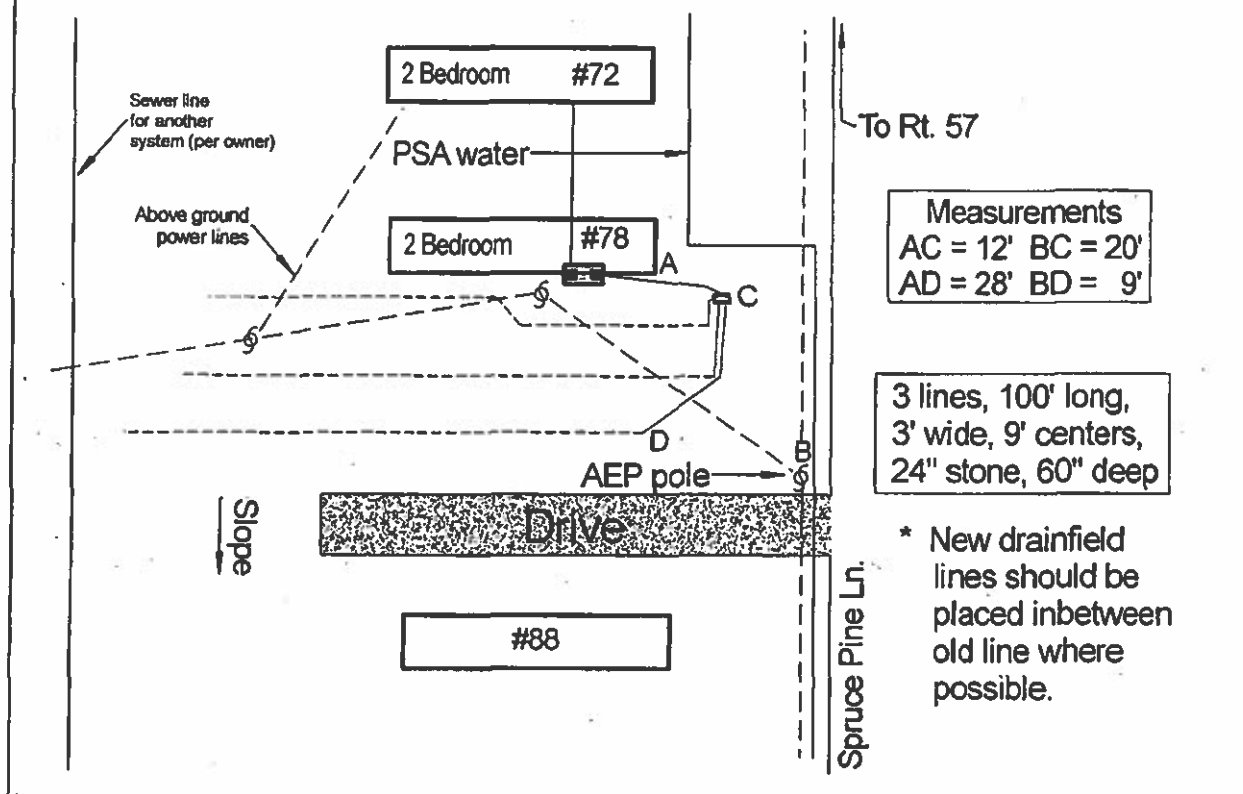
Owner Information

Tim Moore
5565 Stones Dairy Rd.
Bassett, Virginia 24055

Phone: (276) 629-8274

Construction Drawing

Schematic drawing of sewage disposal system and topographic features.



This sewage disposal system construction permit is null and void if conditions are changed from those shown on the application or construction permit. No part of any installation may be covered or used until inspected, corrections made if necessary and the system is approved. The inspection will normally be made by the system designer, who may be an AOSE, PE, or EHS. Any part of any installation which has been covered prior to approval shall be uncovered, if necessary, upon direction of the Department or the system designer.

System Design By: Robert K. Snead ; Site Evaluation By: Robert K. Snead

Robert K. Snead
Robert K. Snead

March 22, 2005
Issue Date

September 22, 2006
Expiration Date