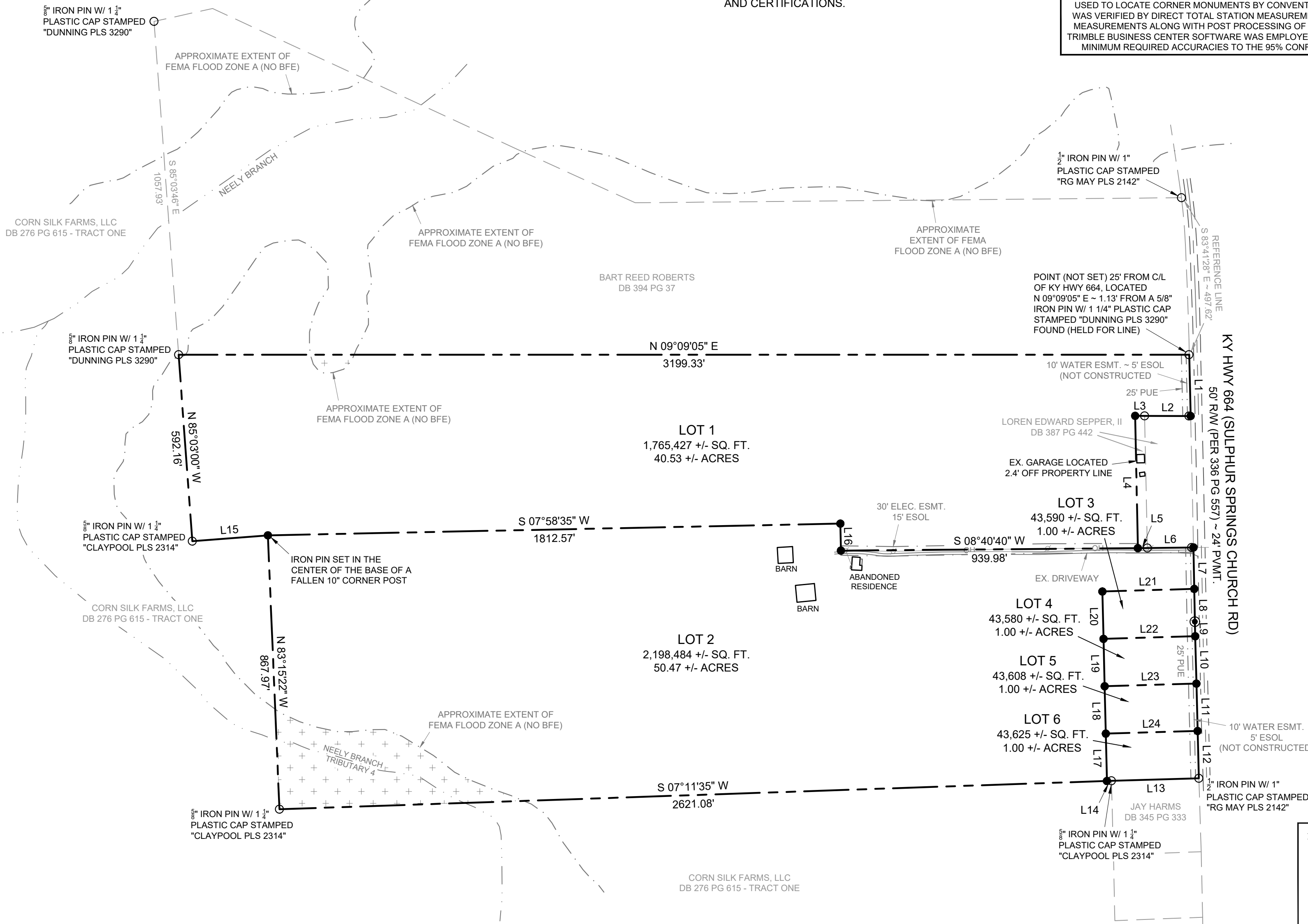


GPS NOTE

THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY HESTER PRECISION SURVEYS USING BOTH STATIC & RTK METHODS WITH DUAL FREQUENCY TRIMBLE R12 RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE AND BY CONVENTIONAL MEANS. FROM GPS CONTROL POINTS WHEN NECESSARY. THE ACCURACY OF THE CONTROL POINTS USED TO LOCATE CORNER MONUMENTS BY CONVENTIONAL METHODS WAS VERIFIED BY DIRECT TOTAL STATION MEASUREMENT. REDUNDANT MEASUREMENTS ALONG WITH POST PROCESSING OF GPS DATA USING TRIMBLE BUSINESS CENTER SOFTWARE WAS EMPLOYED TO ACHIEVE THE MINIMUM REQUIRED ACCURACIES TO THE 95% CONFIDENCE LEVEL.

NOTE:

SEE SHEET 2 OF 2 FOR LINE & CURVE TALBES, GENERAL NOTES AND CERTIFICATIONS.



LEGEND

- PROPERTY CORNER FOUND (AS NOTED)
- IRON PIN SET (UNLESS OTHERWISE NOTED)
- STONE FOUND (AS NOTED)
- MEANDER POINT (NOT SET)
- ⊗ TREE FOUND (AS NOTED)
- ⊗ CONCRETE R/W MONUMENT
- UTILITY POLE
- ⊗ WATER VALVE
- ⊗ WATER METER
- BSBL BUILDING SET BACK LINE
- ESOL EACH SIDE OF LINE
- PUE PUBLIC UTILITY EASEMENT
- FFE FINISHED FLOOR ELEVATION
- PROPERTY LINE
- - - SETBACK LINE
- - - EASEMENTS
- - - LOT LINE ABANDONED
- - - CENTERLINE
- E BURIED ELECTRIC
- G GAS LINE
- OH OVERHEAD UTILITIES
- T BURIED TELEPHONE
- W WATER LINE
- X FENCE LINE

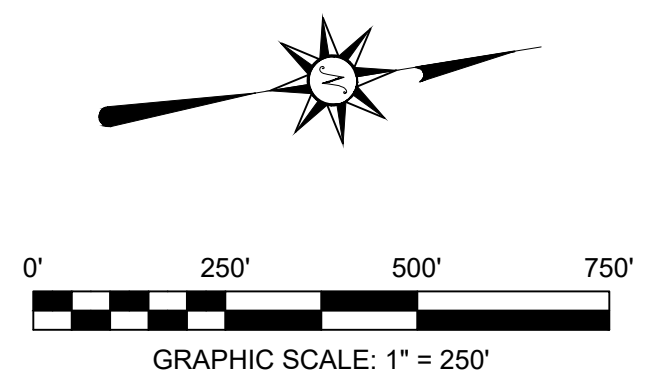
SURVEYOR'S CERTIFICATE

I DO HEREBY CERTIFY THAT: THIS PLAT OF SURVEY REPRESENTS A BOUNDARY SURVEY COMPLYING WITH 201 KAR 18:150; THE URBAN SURVEY SHOWN HEREON WAS COMPLETED ON FEBRUARY 23, 2026 AND WAS PERFORMED UNDER MY DIRECTION USING APPROPRIATE GPS METHODS FOR MEASURING RECOVERED MONUMENTS AND ESTABLISHING SURVEY CONTROL, AND/OR BY THE METHOD OF RANDOM TRAVERSE; THE UNADJUSTED MATHEMATICAL ERROR OF CLOSURE OF THE TRAVERSE AND THE THEORETICAL UNCERTAINTY OF THE CORNERS ESTABLISHED MEET OR EXCEED THE REQUIREMENTS FOR A SURVEY OF THIS CLASS AS SET FORTH BY THE COMMONWEALTH OF KENTUCKY, STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN 201 KAR 18:150; THE BEARINGS & DISTANCES SHOWN HEREON ARE MEASURED ON THE GROUND AND ARE BASED ON GRID NORTH AS ESTABLISHED BY KENTUCKY STATE PLANE COORDINATES (SOUTH ZONE 1602, GEOID 18B CONUS). ALL MEASUREMENTS HAVE BEEN ADJUSTED USING TRIMBLE BUSINESS CENTER NETWORK ADJUSTMENT AND HAVE A MINIMUM RELATIVE PRECISION OF 0.03' TO THE 95% CONFIDENCE LEVEL.

STATE OF KENTUCKY
CHARLES B. HESTER
 4147
 LICENSED PROFESSIONAL LAND SURVEYOR

TOTAL AREA OF SURVEY
 4,138,313 +/- SQ. FT.
 95.00 +/- ACRES

PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE
 CHRISTY LEIGH THOMAS, GINA KATHRYN CLARK,
 BRENDA REID ROBERTS & SANDRA GAYLE GOODMAN
 1806 MORGANTOWN RD
 FRANKLIN, KY 42134
 DEED BOOK 394 PAGE 27



PROJECT/CLIENT: **SUBDIVISION PLAT OF THE ROBERTS ESTATE**
 SIMPSON COUNTY TAX PARCEL 021-00-00-034.00
CHRISTY LEIGH THOMAS, ET. AL.
 1806 MORGANTOWN ROAD
 FRANKLIN, KY 42134

DRAWN BY: B. HESTER DATE: 4-3-2026 SCALE: 1" = 250'
 CHECKED BY: B. HESTER PROJECT NUMBER: 26-109L

PREPARED BY:

HESTER PRECISION SURVEYS
 PROFESSIONAL SURVEYING & GEOMATICS
 17 STONEHURST WAY
 BOWLING GREEN, KY 42103
 PHONE: 270.784.6083

OWNER'S CERTIFICATION

I (WE) THE UNDERSIGNED DO HERBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF RECORD OF THE PROPERTY SHOWN AND DESCRIBED HEREON WHICH IS ORIGINALLY RECORDED IN DEED BOOK 394 PAGE 27 IN THE OFFICE OF THE SIMPSON COUNTY COURT CLERK. IN CONSIDERATION FOR THE APPROVAL OF THIS SUBDIVISION PLAT, I (WE) DO HEREBY ADOPT THIS PLAN OF LOTS WITH MY (OUR) FREE CONSENT FOR THIS PROPERTY; DO ESTABLISH THE MINIMUM BUILDING LINE; DO HEREBY DEDICATE TO ALL STREETS, RIGHTS OF WAY AND ANY OTHER SPACES SO INDICATED TO PUBLIC USE. EXCEPT THOSE AREAS SPECIFICALLY INDICATED AS PRIVATE; THAT I OR MY SUCCESSORS IN TITLE WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE AUTHORITY; AND DO ESTABLISH AND RESERVE THE EASEMENTS INDICATED FOR PUBLIC UTILITY AND DRAINAGE EASEMENTS.

CHRISTY LEIGH THOMAS _____ DATE _____

ACKNOWLEDGED BEFORE ME BY: _____

NOTARY PUBLIC FOR THE STATE OF KENTUCKY
MY COMMISSION EXPIERS _____ DATE: _____

GINA KATHRYN CLARK _____ DATE _____

ACKNOWLEDGED BEFORE ME BY: _____

NOTARY PUBLIC FOR THE STATE OF KENTUCKY
MY COMMISSION EXPIERS _____ DATE: _____

BRENDA ROBERTS REID _____ DATE _____

ACKNOWLEDGED BEFORE ME BY: _____

NOTARY PUBLIC FOR THE STATE OF KENTUCKY
MY COMMISSION EXPIERS _____ DATE: _____

SANDRA GAYLE GOODMAN _____ DATE _____

ACKNOWLEDGED BEFORE ME BY: _____

NOTARY PUBLIC FOR THE STATE OF KENTUCKY
MY COMMISSION EXPIERS _____ DATE: _____

WARREN RURAL ELECTRIC

WARREN RURAL ELECTRIC HAS EXAMINED THIS PLAT AND FIND THAT ACCEPTABLE EASEMENTS HAVE BEEN DEDICATED FOR THE CONSTRUCTION AND MAINTENANCE OF EXISTING OR PROPOSED ELECTRIC LINES DISCLOSED ON THIS PLAT.

SIGNATURE _____ TITLE _____ DATE _____

SIMPSON COUNTY WATER DISTRICT

THE SIMPSON COUNTY WATER DISTRICT HAS EXAMINED THIS PLAT AND, REGARDING THE SERVICES TO BE PROVIDED BY THE WATER DISTRICT, ACCEPTABLE EASEMENTS HAVE BEEN DEDICATED FOR THE CONSTRUCTION AND MAINTENANCE OF EXISTING OR PROPOSED WATER AND/OR SEWER LINES DISCLOSED ON THIS PLAT.

NO EXAMINATION OR REPRESENTATION IS MADE BY THE WATER DISTRICT AS TO FIRE FLOW, AVAILABILITY OF WATER OR SEWER SERVICES TO THE PROPERTY, THAT EITHER WATER OR SEWER SERVICES CAN BE EXTENDED, OR THAT SERVICES PROPOSED ON THIS PLAT ARE IN PLACE AND WILL BE PROVIDED.

SIGNATURE _____ TITLE _____ DATE _____

STATE OF KENTUCKY DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS

ACCESS TO HIGHWAY _____ WILL REQUIRE A PERMIT FROM THE DEPARTMENT OF HIGHWAYS. LOTS SHOWN ON THIS PLAT THAT ABUT HIGHWAY _____ MAY BE GRANTED ACCESS TO HIGHWAY _____ WITHIN THE PERMITTED ACCESS ENVELOP, PROVIDED ALL CONDITIONS AND REQUIREMENTS OF THE DEPARTMENTS PERMITS POLICY MANUAL, IN ADDITION TO THE CITY-COUNTY PLANNING COMMISSION REQUIREMENTS, ARE MET. LOT OWNERS SHALL CONTACT THE PERMITS ENGINEER WITH THE DEPARTMENT OF HIGHWAYS AT THE DISTRICT #3 OFFICE IN BOWLING GREEN AT (270) 746-7898.

SIGNATURE _____ DATE _____

LINE	BEARING	DISTANCE
L1	S 82°07'32" E	194.31'
L2	S 09°21'32" W	145.71'
L3	S 09°21'32" W	30.00'
L4	S 82°01'25" E	419.02'
L5	N 08°25'24" E	30.00'
L6	N 08°25'24" E	146.14'
L7	S 81°53'34" E	131.14'
L8	S 81°53'34" E	104.03'
L9	S 82°18'13" E	45.97'
L10	S 82°18'13" E	150.00'
L11	S 82°18'13" E	150.00'
L12	S 82°18'13" E	150.00'
L13	S 07°30'52" W	276.78'
L14	S 07°11'35" W	14.22'
L15	S 04°42'56" W	239.98'
L16	N 82°01'25" W	85.50'
L17	N 82°13'57" W	150.00'
L18	N 82°13'57" W	150.00'
L19	N 82°13'57" W	150.00'
L20	N 82°13'57" W	150.00'
L21	N 07°29'55" E	291.00'
L22	S 07°29'54" W	290.44'
L23	S 07°29'54" W	290.63'
L24	S 07°29'55" W	290.81'

PLANNING COMMISSION APPROVAL STAMP

APPROVED BY:
SIMPSON COUNTY PLANNING
AND ZONING COMMISSION

DATE _____

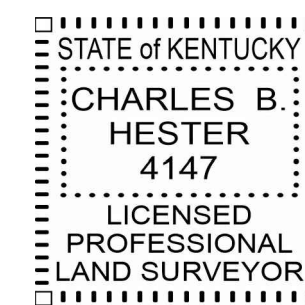
CHAIRMAN _____

BLDG. INSP. _____

SHEET 1 OF 2

GENERAL NOTES

1. THE PURPOSE OF THIS PLAT IS TO DIVIDE A PORTION OF THE GINA CLARK, ET. AL. PROPERTY INTO 6 LOTS AS SHOWN HEREON.
2. THE SURVEYOR HAS MADE NO ATTEMPT TO SEARCH FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, ETC. THAT WERE NOT SHOWN ON OR DESCRIBED IN THE CURRENT PLAT AND DEED OF RECORD AS LISTED HEREON. THE PROPERTY SHOWN HEREON IS SUBJECT TO: ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON; ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
3. A PORTION OF THE PROPERTY SHOWN HEREON LIES WITHIN FEMA FLOOD ZONE A ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAPS FOR SIMPSON COUNTY, KENTUCKY. SAID AREA IS SHOWN ON MAP PARCEL NO. 21213C0175C, DATED MARCH 17, 2011.
4. THE SURVEYOR HAS NOT MADE ANY ATTEMPT TO OBTAIN OR SHOW DATA CONCERNING THE EXISTENCE, SIZE, DEPTH OR CONDITION OF ANY EXISTING UNDERGROUND UTILITIES.
5. UNLESS OTHERWISE NOTED: ALL IRON PINS SET ARE 5/8" X 18" PINS SET WITH 1 1/4" BLUE PLASTIC CAP STAMPED "B. HESTER PLS 4147"; ALL WITNESS PINS SET ARE 5/8" X 18" PINS SET WITH 1 1/4" BLUE PLASTIC CAP STAMPED "WITNESS PLS 4147"; ALL MAG NAILS SET ARE 2" MAG NAILS WITH 2" ALUMINUM SHINERS STAMPED "B. HESTER PLS 4147".
6. A BOUNDARY SURVEY DOES NOT DETERMINE LAND OWNERSHIP, A PROFESSIONAL LAND SURVEYOR ONLY PROVIDES AN OPINION OF PREVIOUSLY DESCRIBED BOUNDARY LINES WHICH MAY OR MAY NOT BE UPHELD BY A COURT OF LAW. UNWRITTEN RIGHTS MAY OR MAY NOT EXIST ON SUBJECT PROPERTY.



CERTIFICATION OF SURVEY AND ACCURACY

I HEREBY CERTIFY THAT THIS PLAT DEPICTS A SURVEY, MADE BY ME, OR UNDER MY DIRECTION, BY STATIC GPS METHODS WHEN ACCEPTABLE, AND CONVENTIONAL METHODS FROM GPS CONTROL POINTS WHEN NECESSARY. THE BEARINGS AND DISTANCES SHOWN HEREON HAVE NOT BEEN ADJUSTED FOR CLOSURE. THIS SURVEY AND PLAT MEETS OR EXCEEDS THE MINIMUM STANDARDS OF GOVERNING AUTHORITIES.

CHARLES BRANDON HESTER _____ DATE _____
KENTUCKY PLS 4147

PROJECT/CLIENT: **SUBDIVISION PLAT OF THE ROBERTS ESTATE**
SIMPSON COUNTY TAX PARCEL 021-00-00-034.00

CHRISTY LEIGH THOMAS, ET. AL.
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