

## ***WHAT REALLY MATTERS IN A HOME INSPECTION***

Congratulations on buying your new home.

The process can be stressful. A home inspection is supposed to give you peace of mind, but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report , checklist , photographs , environmental reports , and what the inspector himself says during the inspection.

All combined with the seller' s disclosure and what you have noticed yourself makes the experience even more overwhelming.

What should you do?

Relax.

Most of your inspection will be maintenance recommendations , life expectancies and minor imperfections. These are nice to know about . However, the issues that really matter will fall into four main categories:

- 1) **Major Defects.** An example of this would be a significant structural failure
- 2) ***Things that may lead to major defects.*** A small water leak coming from a piece of roofing flashing , for example.
- 3) **Things that may hinder your ability to finance , legally occupy , or insure the home.** Old outdated electrical panel hazard , for example
- 4) **Safety Hazards.** Such as lack of GFCI- protection

Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to protect both life and property ( especially in categories 2 & 4)

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that most sellers are under no obligation to repair everything mentioned in a report. No home is perfect.

Keeping things in prospective. Don't kill your deal over things that don't matter , or easy and inexpensive to correct. It is inappropriate to demand that a seller address every deferred maintenance item , or conditions already listed on the seller's disclosure.

Here at Precision Home Inspections Plus we are excited for you and want you to enjoy your future new home for years to come. If you have any questions or concerns about the report provided to you, please feel free to reach out to us

Congratulations,  
Precision Home Inspections Plus    Office: ( 276) 266-1175

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney."

Saturday, May 31, 2025

Keith Plourd

Inspection Site



2716 Peaks Mountain Road  
Galax VA

Dear Keith Plourd:

At your request, a visual inspection of the above referenced property was conducted on Wednesday, May 28, 2025. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, reflecting the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

#### **SUMMARY OF AREAS REQUIRING FURTHER EVALUATION**

**IMPORTANT:** The Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report. The entire Inspection Report, including the Standards of Practice, limitations and scope of Inspection, and Pre-Inspection Agreement must be carefully read to fully assess the findings of the inspection. This list is not intended to determine which items may need to be addressed per the contractual requirements of the sale of the property. Any areas of uncertainty regarding the contract should be clarified by consulting an attorney or real estate agent.

I inspect homes to today's safety and building standards, Therefore some recommendations found within the report may not have been required when the home was constructed. Safety and building standards change over time and are improved upon for the safety and well being of the occupants of the home and repairs / improvements mentioned should be considered for the safety , performance and improved longevity of the homes systems and components.

It is strongly recommended that you have appropriate licensed contractors evaluate each concern further and the entire system for additional concerns that may be outside our area of expertise or the scope of our inspection BEFORE the close of escrow. Please call our office for any clarifications or further questions.

Here is a list of major defects that need further evaluation or repair by appropriately Licensed Contractors.

## **EXTERIOR - FOUNDATION 3.0**

Rear Deck:

*Structure:*

Deck - Marginal Condition

Deck is weathered and in marginal condition at this time. Observed was significant deterioration, sagging bowed cupped joists, bowed & out of plumb posts, sagging beams, corroded hardware. Recommend further evaluation and repair/replace as needed by a qualified contractor.

Structure appears over spanned/sagging/damaged

wood rot and deterioration in areas noted- at minimum affected areas of wood rot and deterioration should be replaced

### **FRAMING DECAYED**

Deck framing had decayed wood in one or more areas. Repair is needed and should be performed by a qualified contractor.

The wood decking needs significant maintenance-type service, such as replacing damaged planks, securing loose or offset planks, replacing or resetting nails or screws, sanding, painting or sealing, all of which will prolong the life of the deck.

## **HEATING - AIR CONDITIONING 7.0**

Air Conditioning 2:

*Fuel Source:*

The breaker protecting the exterior HVAC unit was oversized by 10 amps. Typically no repercussions will occur by oversizing the breaker by 5 amps, but oversizing it by 10 amps or more can allow for the breaker not to trip when needed and cause damage to the system. Replacement of the breaker with one of the proper size is recommended to be conducted by a licensed electrician.

## **LAUNDRY AREA 13.0**

Laundry:

*Dryer Vent:*

SCREEN OVER DRYER VENT CAP

There is a screen/cover installed over the dryer vent termination on the exterior. According to current industry standards, dryer vents should discharge through vents equipped with a backdraft damper without a screen.

## **BATHROOMS**

Sink & Drain:

*Bathroom #2:*

UNDER-SINK PLUMBING - SLIP JOINT LEAK

A leak was present under the referenced sink at the slip joint location. A slip joint is a type of joint used in under-sink plumbing to connect pipes and fittings. It consists of a connecting nut and a gasket (often made of rubber or neoprene) that are placed between the end of one pipe and the fitting. This is very common and considered to be an "easy" fix. Repairs to the joint is recommended to be performed by licensed plumber to rectify any leakage.

Other minor items are also noted in the entire inspection report and should receive eventual attention, but should not affect the habitability of the house and the majority are the result of normal wear and tear.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

*Precision Home Inspections Plus, LLC*

*Thomas Wolfe CMI*

Certified Master Inspector®

VA DPOR# 3380001478

TN LIC# 2121

NC # 4990

*Internachi #NACHI18112101*

Radon NRPP # 111546 RMP (expires 03-31-27)

FHA/HUD Certified Consultant #P2070

Certified Commercial Property Inspectors Association

CCPIA-002149

**Inspection reference: 1552**

**Confidential Inspection Report**  
**2716 Peaks Mountain Road**  
**Galax VA**

**May 28, 2025**



Prepared for:  
**Keith Plourd**

**This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.**

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## GENERAL INFORMATION 1.0

### Client & Site Information:

How to Read This Report

Getting the Information to You

This report is designed to deliver important and technical information in a way that is easy for anyone to access and understand. If you are in a hurry, you can take a quick look at our "Summary Page" and quickly get the critical information for important decision-making. However, we strongly recommend that you take the time to read the full Report, which includes digital photographs, captions, diagrams, descriptions, videos, and hot links to additional information.

**Inspection Date:**

5/28/2025 11:00 AM.

**Client:**

Keith Plourd

**Inspection Site:**

2716 Peaks Mountain Road  
Galax VA.

**Home Occupancy Status:**

Owner occupied  
Furnished

276-237-9174.

**Inspector:**

Thomas Wolfe, CMI  
VA, TN & NC State  
Certified Master Inspector®  
VA DPOR # 3380001478 /  
TN License # 2121 /  
NC License # 4990  
INTERnachi # NACHI  
18112101  
Radon NRPP # 111546 RMP  
(expires 03-31-27)  
FHA/HUD Certified  
Consultant #P2070

**In Attendance:**

Inspector, Client(s)

**Radon Test:**

No.

**Water Test:**

No.

### Building Characteristics:

**Estimated Age:**

Built in 2008 .  
(Approx. 17 years old),  
(From Online Sources)

**Building Style & Type:**

Attached  
Single Family Residence  
Cape Cod, Style.

**Stories:**

2 Story.

**Square Feet:**

2187. Square feet,  
(From Online Sources),

**Space Below Grade:**

Crawl space.

**Water Source:**

The home water was  
supplied from a private well,  
( According to online  
sources)

**Sewage Disposal:**

Private, (Septic System),  
( according to online sources)

**Utilities Status:**

All utilities on  
- At time of the inspection.

**Main Entry Faces:**

(House Faces), Northerly.  
For the sake of this  
inspection the front of the  
structure will be considered  
as pictured in the above  
cover photo.  
References to the left or right  
of the structure should be  
construed as standing in the  
front yard, viewing the front

**Elevation:**

The home site was located at  
an elevation of approximately  
2720 Feet above sea level.

of the structure. ( such as in the picture)

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**Climatic Conditions:***Information:*

The weather conditions at the time of the inspection are used to help anyone reading the report understand the conditions at the time of the inspection. Weather conditions are important as the conditions may limit the inspection of certain components of the home. During the winter it is not uncommon for a roof to be covered with snow for prolonged periods of time. If any area of the inspection is limited due to the weather conditions the client should have these areas reevaluated prior to closing on the home.

**Weather:**

Weather conditions during the inspection:  
During the inspection the weather was overcast with periods of light rain,  
Recent Rain,  
Rain in the past 24 hrs,  
Wind calm.

**Preceding Week's Weather: Soil Conditions:**

There has been over 1 inch of rain in the past week. Damp soil.

**Outside Temperature (F):**

Temperature at the Time of Inspection,  
(Approximate),  
65-70 Fahrenheit (F)

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**About Rated Items:**

Items not found in this report are beyond the scope of this inspection and should not be considered inspected at this time. Please read the entire report for important details. Inspected items may be generally rated as follows:

**OK = "Serviceable"** = Item is functional and we did not observe conditions that would lead us to believe problems existed with this system or component. Some serviceable items may show wear and tear. Other conditions may be noted in the body of the report.

**NI = " Not Inspected"**= This item was not inspected. The item, component, or unit has not been checked, looked over, or tested in any way by the inspector. Further evaluation may be needed if the client needs this item checked.

**MM = "Marginal/Maintenance"** = Item warrants attention or monitoring, or has a limited remaining useful life expectancy and may require replacement in the not too distant future. Further evaluation or servicing may be needed by a qualified licensed contractor or specialty tradesman dealing with that item or system.

**RR = "Repair or Replace"** = Item, component, or unit is not functioning as intended and needs repair or replacement. Further evaluation is needed by a qualified licensed contractor or specialty tradesman dealing with that item or system.

**CATEGORIZATION:**

These categories are based on the Inspector's professional judgment and are based on the conditions at the time of the inspection. This categorization should not be construed as to mean that items designated as a Minor Concern or Moderate Concern do not need repaired or addressed. The listed Defects / Concern is more important than the category in which the defect was placed in.

**PURPOSE AND SCOPE**

This Inspection Report is supplemental to the Property Disclosure Statement. This document was prepared as a report of all visual defects noted at the time and date of the inspection. It is not necessarily an all-inclusive summary, as additional testing or inspection information/processes and analysis may be pending. It is subject to all terms and conditions specified in the Inspection Agreement. It should be noted that a standard pre-purchase inspection is a visual assessment of the

**Inspection: 1552 Address: 2716 Peaks Mountain Road**

condition of the structure at the time of inspection and is subject to day-to-day changes. The inspection and inspection report are offered as an opinion only of items observed on the day of the inspection. Although every reasonable effort is made to discover and correctly interpret indications of previous or ongoing defects that may be present, it must be understood that no guarantee is expressed nor implied nor responsibility assumed by the inspector or inspection company for the actual condition of the building or property being examined.

Precision Home Inspections Plus is very detailed or "meticulous" when performing an inspection. We inspect every property as if we, or one of our family members were purchasing this exact home. Every deficiency noted within a property can be fixed, but not every deficiencies noted within the report will have to be fixed. There will be defects noted within the report that are considered "minor" or typical home owner maintenance type deficiencies. Any minor or deferred maintenance defects noted should be viewed as "future projects" after taking ownership of the property. Every home, no matter the age, will have recommendations made to enhance the quality of life you live within the home.

We encourage you (the buyer) to categorize any deficiency as you feel necessary for the purchasing decision of the property.

We have been told that our reports are "long". Please do NOT let the length of the report make you (the buyer/ client) feel overwhelmed in any way. Precision Home Inspections Plus made the choice to incorporate as much of explanation / details and example diagrams, as well as adding multiple photos to make sure the readability and understanding of the report is comfortable for all.

Precision Home Inspections Plus not only reports on visible defects while performing an inspection, but we also feel educating buyers / homeowners is part of the inspection process. There will be educational information throughout the report, as we perform every inspection as if you (the buyer) are first time home buyers.

Inspection standards of practice: This inspection was completed in compliance with the professional standards of practice set forth by InterNACHI (NACHI) and the VA Dept. of Professional Occupation and Regulation (DPOR) for Home Inspectors. These standards and regulations describe the scope, procedures and limitations of a standard home inspection and are provided for your review if you request.

#### Your expectations

The overall goal of a home inspection is to help ensure that your expectations are appropriate for the house you are proposing to buy. To this end, we assist with the discovery by showing and documenting observations during the home inspection. This should not be mistaken for a technically exhaustive inspection designed to uncover every defect in a building. Such inspections are available, but they are generally cost-prohibitive to most homebuyers.

While many items will be reported as information, they may not be considered material defects. Such as aging equipment, normal wear and tear, outdated systems. All inspections and findings are subjective to each home being inspected. Deficient insulation on a newer home may be a defect (R/R) but on an older home is normal (OK or M/M). It's up to your discretion to consider and negotiate any items in this report but the " R/R - Repair or Replace " items are primary and considered actionable.

Repairs that are being made as a contingency of the sale should be performed by a qualified trades person where required. Any work requiring a permit should be obtained. The client should obtain all receipts for the performed work.

#### Comment:

Over the course of trying to expedite the report to you there may be an item / comment (rarely more) that may have been omitted. These will typically be information in nature or a minor maintenance / monitoring item. I try to be as thorough as possible but mistakes do happen and on occasion a need to update the report to include this information is possible.

#### Information and Diagrams:

Any diagrams in this report are not intended to be used as repair specifications for any particular inspection, structure, or property. These should only be used as a reference point for best practices and industry standards. Any repairs intended to be performed as a result of the information listed in this report should be evaluated and prescribed by the person performing the work.

Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.

**USE OF PHOTOS:** Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos.

Throughout this report, comments will be made as to the presence or absence of components or parts of components. This must not be construed to mean that these components or parts of components exist (or don't exist) in concealed areas or behind finished surfaces. For example: if foundation bolting was seen in one area, it does not mean that the bolting exists (or doesn't exist) in areas that are concealed. Also if an item was noted as "not being visible," that should not be construed to mean that none of whatever was "not visible" does not exist on the premises---it just means none was noted at the time of inspection and should be seen as a "heads-up" that the concern or condition might be present but hidden, or that the conditions that would allow its presence to be known was not replicated at the time of inspection.

#### Definitions:

##### Definition of conditions described by the inspector

The terms shown below can be found throughout the report and describe the condition of the item being inspected. Items in the body of the report and described as **SAFETY** or **DEFECTIVE** may also be shown on the inspection summary page which can be found at the beginning or end of this report depending on the rating of the item. Items appearing on the summary page are of increased importance and should be corrected as quickly as possible.

**SERVICEABLE:** A condition, system or component that appeared to be functioning as intended at the time of inspection.

**MAINTENANCE:** Describes a condition, system or component that is serviceable but could benefit from routine maintenance, adjustment, etc.

**IMPROVE:** Indicates improvements which are recommended but not required. This may include items that could be upgraded to bring them up to modern building standards.

**MONITOR:** A condition, system or component that appeared to be functioning as intended and capable of safe usage in its present condition; however, the inspector's concern stated in the report should be monitored over time by a qualified person.

**SAFETY:** A condition which we feel poses a health or safety risk that can be reduced or

**Inspection: 1552 Address: 2716 Peaks Mountain Road**

eliminated with proper repair and/or upgrade. Some of the items in this classification may not have been required when the building was originally constructed and in this specific case would be considered safety upgrades or improvements.

**DEFECTIVE:** A condition, system or component that did not respond as intended using normal operator controls, was not able to be safely operated, was not functioning as intended, or was otherwise found defective.

**DEFERRED:** Describes an area, condition, system or component that could not be operated or inspected for the reasons stated. These may also be items outside our standards of practice, inaccessible or not functional. For deferred items we recommend further evaluation by a licensed contractor or other qualified professional.

**EVALUATE:** Describes an area, condition, system or component that is a source of concern to the inspector. It is recommended that these areas receive further evaluation by a licensed or otherwise qualified professional with experience in that particular condition, system or component.

For example, if a moderate amount of cracking is noted in the foundation system, we would classify that area as evaluate. If the furnace emits a strange odor when running we would again mention the furnace be evaluated by a licensed HVAC technician.

**OK - Acceptable** - Item was inspected and was functioning as intended.

**R/R - Repair/Replace** - Item was inspected and was not functioning as intended, allowing for normal wear and tear, or appeared not to function as intended, based upon documented tangible evidence. These items will need to be repaired/replaced or evaluated by a specialist

**MM - Monitor** - Item had issues but was functioning during the inspection. The item needs to be monitored for changes.

**NI - Not Inspected** - Item was not inspected and the reason for not inspecting is listed.

**NA (NOT APPLICABLE)** This item is not applicable or not present

**EXCL: Excluded** - The item, system, area, or component is excluded from this inspection due to being outside the scope of a home inspection, was not accessible or visible, and/or for other reasons.

**SFTY: Safety Concern** - The item, system, area, or component represented a safety concern or hazard and should be addressed as soon as possible by a qualified professional.

**LMT: Limitation** - The item, system, area, or component contained inspection limitations, which may include, but are not limited to: visibility limitations, accessibility limitations, items being shut off, etc.

**MODERATE DEFECTS:** A moderate defect in a home inspection typically refers to issues that may affect the property but are not severe or urgent. Examples could include general damage, or plumbing defects such as a loose toilet or corroded copper that is not yet leaking. Its important to address these concerns, but they made not require immediate attention, or pose a significant risk to the property. Left unattended, these could turn into significant defects.

**MINOR/MAINTENANCE ITEMS:** Include components that were found to be in need of recurring or basic general maintenance to protect either a the component or the occupants. Also included in this section are items that were beginning to show signs of wear, but were, in the opinion of the inspector, still functional at the time of inspection. Typically these items are considered to represent a less significant immediate cost than those listed in the following two categories.

**SIGNIFICANT DEFECTS:** A significant defect in a home inspection refers to a more serious issue that can have substantial impact on the property's value, safety, or habitability. Examples include structural problems, major electrical issues, or extensive foundation issues. These defects often require prompt attention and can involve more substantial repair costs compared to moderate defects.

**Material Defect:** A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property, or one that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a defect.

**Recommended Maintenance:** These are repair items that should be considered "routine home ownership items," such as servicing the furnace, cleaning the gutters or changing the air filters in the furnace.

**Due Diligence:** Observation such as a buried oil tank that may require further investigation to determine the severity and / or urgency of repair.

**Improve or Upgrade:** Observations that are not necessarily defects, but which could be improved for safety, efficiency, or reliability reasons. These are often items which reflect changes in building codes or standards.

**Efficiency:** Denotes observations that are needed to make the home more energy efficient as well as to bring the home up to modern insulation standards. This category typically includes windows and insulation. Other items, such as lighting and appliances, are not inspected for their energy status.

**Marginal/Deferred Cost:** Marginal/Deferred Cost denotes an item/component/system that is near or has reached its normal service life expectancy or shows indications that it may require repair or replacement anytime within three (3) to five (5) years.

## Emergency Shut-off Locations:

### *General:*

In an emergency, you may need to know where to shut off the gas, the water and/or the electrical system. We have listed below these controls and their location for your convenience. We urge that you familiarize yourself with their location and operation.

### *Electrical Disconnect:*

Location: Laundry Room Hallway

I recommend that everyone living in the home familiarizes themselves with the location of the electrical service panel and the disconnect used to shut off power to the whole house. Knowing the location of the panel may be beneficial to all members of the family, whether it's to reset a tripped breaker or to disconnect power in the event of an emergency.



*Water Shut-off:*

Location: Crawlspace

I recommend that everyone living in the home familiarizes themselves with the location of the main shut off valve for the water. In the event of a plumbing emergency, knowing where it is and how to turn the water off can limit damage and save time, money and avoid costly repairs from water damage.



*Drain Clean-out*

Location: Crawlspace

The pictured cleanout location can be used when problems arise concerning proper drainage of the household fixtures or for servicing.



**Inspections Performed:**

*Inspections:*

Pre-Listing Inspection

**PHOTOGRAPHS:** Several photos are included in your inspection report as a courtesy and are not required by our Standards of Practice.

These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

**Inspection: 1552 Address: 2716 Peaks Mountain Road**

Thank you for the opportunity to conduct this home inspection for you!

This home inspection is being performed in accordance with the standards of practice of InterNACHI and a copy of these guidelines is available. The report contains three sections:

- 1) the Major summary pages that contain a list of items that need to be repaired/evaluated
  - 2) the body of the report that contains much information about the systems in the house and notes on items in the house.
  - 3) the Monitor/ Maintenance summary pages that contain the items that might need attention or be considered regular homeowner maintenance
- Please read the entire report.

**General home inspection.**

This home inspection and report is an unbiased assessment of the property on the day the property was inspected. You must read the entire inspection report as it contains observations of those systems and components that, in the professional judgment of the inspector, do not function properly, are significantly defective, are unsafe, or are near the end of their service lives. This report is not intended to reflect the value of the property or to make any representation as to the advisability of purchase. Not all improvements will be identified during this inspection, and unexpected repairs should be anticipated. This inspection is not a guarantee or warranty of any kind.

**A lot of information! This is good. Don't get overwhelmed.**

No home is perfect! Every home has good points and usually a good many imperfections and issues. All homes have both positives and negatives that are very typical for their age and construction type. It is my job to report the items inspected, conditions and material defects of the home through the home inspection report. In doing so, I also try to point out issues you may wonder about as well as issues I want to make sure you are aware of. The end result is a very large report. This is normal, so don't get overwhelmed. Let it give you confidence that I was thorough.

**House Numbers:**

*House Numbers:*

Numbers present on mail box / stand

In an emergency it is important for authorities and service personnel to readily locate the home. Ensure the numbers are visible from the street ( both day and night) and maintained

Modern requirements call for numbers / letters to be a minimum of 4 inches high and placed on a contrasting surface

OK NI MM RR

Numbers present on mail box / stand  
- The numbers on the mailbox are Not clearly visible



## Repairs & Upgrades: Information:

I inspect homes to today's safety and building standards, Therefore some recommendations found within the report may not have been required when the home was constructed.

Safety and building standards change over time and are improved upon for the safety and well being of the occupants of the home and repairs / improvements mentioned should be considered for the safety , performance and improved longevity of the homes systems and components.

### COMPONENT LIFE EXPECTANCY

- Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector.

### OBTAIN INFORMATION

We recommend obtaining from the Owner (and Public Records) all available Information, User's Guides/Owner's Manuals, Receipts, Warranties, Permits, Insurance Claims, and Warranty Transferability & Fees regarding the Repairs, Upgrades, and Components of the Home & Lot.

### CAUSES of DAMAGE / METHODS OF REPAIR:

Any suggested causes of damage or defects, and methods of repair mentioned in this report are considered a professional courtesy, to assist you in better understanding the condition of the home, and in my opinion only from the standpoint of a visual inspection, and should not be wholly relied upon. Contractors or other licensed professionals will have the final determination on the causes of damage/deficiencies, and the best methods of repairs, due to being invasive with their evaluation. Their evaluation will supersede the information found in this report.

### "Generalist"

An inspector is considered to be a "Generalist" in that the job is to identify and report potential issues rather than diagnose the specific cause of the repair or the method or materials for repair. For this reason, you will find that it is sometimes recommended to seek further evaluation by a qualified professional whose specializes in the field in question.

### Using the Summary

The summary is meant to organize the defects or important repairs needed in the home. Most anything can be repaired in a home, although some repairs can be very expensive to complete. Generally, normal maintenance issues are left out of the major summary and placed into the end report summary unless they would lead to water leaks or expensive repairs if not completed in a timely way. Some roof maintenance issues will be included in the summary because of the severe damage that may be caused by the neglect of roof maintenance.

- If the age, condition or operation of any system, structure or component of the property is of a concern to you, we recommend that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This is just our opinion.

Construction techniques and standards vary. There is no one way to build a house or install a system in a house. The observations in this report are the opinions of the home inspector. Other inspectors and contractors are likely to have some differing opinions. You are welcome to seek opinions from other professionals.

Your expectations

The overall goal of a home inspection is to help ensure that your expectations are appropriate for the house you are proposing to buy. To this end, we assist with the

discovery by showing and documenting observations during the home inspection. This should not be mistaken for a technically exhaustive inspection designed to uncover every defect in a building. Such inspections are available, but they are generally cost-prohibitive to most homebuyers.

Sometimes what we can see causes us concern about the things we can't see or that are outside our scope to determine. The inspector may recommend a thorough evaluation of the entire component or system by appropriately qualified professionals if:

A system or components was observed that had multiple or significant defects or damage.

Conditions were observed that may indicate concealed defects or damages.

Conditions were observed that may indicate significant safety issues.

Worker qualifications:

In the text of the report, in some instances, I recommend that work be done by a "qualified" persons or "qualified" parties. I consider qualified parties, in licensed trades, to be those individuals who hold the necessary licenses to legally work in their profession -- licensed electricians, licensed pest control applicators, licensed plumbers, licensed HVAC professionals, licensed engineers, licensed general contractors, etc. In instances where a task may not, typically, need to be done by a person with a professional license, my recommendation is to hire an individual to do the work who is, based on past training, experience or expertise, qualified to further evaluate the condition or problem listed in the report and to then make appropriate repairs.

## LIMITATIONS:

### *Limitations:*

EXCL -Limitations- ITEMS NOT INSPECTED: Some items are not inspected in a home inspection, such as, but not limited to, fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, washers/dryers, storm doors, and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm, and intercom systems, and any item that is not a permanently attached component of the home. Also, drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

LMT - The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

### **DISCLOSURE - Concealed/Hidden damage**

Precision Home Inspections Plus can not inspect for, and does not report on hidden damages or defects inside walls, ceilings or floors, or concealed by furnishings or construction finishings or intentionally concealed or covered by property owners. Some common examples of hidden defects are; termite damage, rot, improper workmanship, damaged or leaking pipes. It is beyond the scope and standards of practice for home inspections to go beyond visual observations and reporting.

Lastly, a home inspection does not address environmental concerns such as but not limited to: Asbestos, lead, lead-based paint, radon, mold, wood-destroying insects or organisms (termites, etc.), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide.

**Thermal Imaging:***Thermal Imaging Information:*

I routinely use infrared cameras when helpful but typically only qualitatively, so specific temperatures captured by the camera should not be seen as a quantitative analysis of surfaces but only used as a guide to thermal differences that would then be verified visually, by moisture meter or more invasive investigation.

( See thermal imaging section towards end of report for more specific information and details)

**REPORT LIMITATIONS**

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with generally accepted standard of practice, a copy of which is available upon request.

Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

## GROUNDS 2.0

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Any such mention of these items is informational only and not to be construed as inspected.

### Views:

*General:*

The front of the structure will be considered as the portion pictured in the above cover photo.

References to the left or right of the structure should be construed as standing in the front yard, viewing the front of the structure.

*Front:*

Elevation Photos (Including the Front, Rear, Left and Right Sides of the Home),  
Orientation: Front of the Home.



*Rear:*

Orientation: Rear of the Home.



*Right:*

Orientation: Right Side of the Home.



*Left:*

Orientation: Left Side of the Home.



**Paving Conditions:**

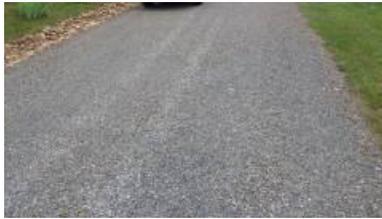
*Information:*

The driveway(s) and walkway(s) (as applicable) were inspected to determine their affect on the structure of the home only. I will also report on any visible deficiencies that may be present such as; cracking, displacement, or other damage. Any comments relating to damage to the concrete, asphalt, and/or masonry surfaces should be viewed as a courtesy and may not be an all-inclusive listing, as the State of VA only requires that driveway(s) and walkway(s) be reported on with their respected affect on the structure.

*Driveway:*

OK NI MM RR

- Driveway Type: Gravel / Rock,  
No deficiencies were observed in the overall condition of the driveway, at the time of the inspection.
- Recommend keeping the drain pipe clear and free of debris to provide good drainage



*Mailbox Noted:*

Yes - There is a mailbox on-site.  
It is functional and at an acceptable height.



**Fences & Gates:**

*Information:*

Fences, gates and other landmarks are not required to be inspected per our Standards of Practice, unless directly affecting the structure. Type, condition and other photos maybe included in this report as a courtesy and are not to be a full inspection of the fencing. You are advised to consider your planned use of the land and condition of the fencing required for such use.

*Condition:* OK NI MM RR

Inquire with seller about property lines,  
 Property lines not walked / Fencing and markers not inspected  
 Recommend walking the fencing to ensure all sections will meet your current needs.

*Concern(s) / Recommendation(s)* We do not report on the property or lot lines or building setbacks from property lines which is outside the scope of our inspection. Any questions should be directed to your realtor or the homeowner.

**Grading:**

*Information:*

The grounds in contact with the structure were inspected to determine that they were graded in a manner to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the foundation, with a 5 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade

Proper grading and drainage is important to maintaining proper foundation performance, preventing water penetration, avoiding wood rot and preventing conditions which are conducive to wood destroying insect intrusion and mold growth.

*Grading Info::*

Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soils than from most natural disasters.

Also, the residence should have gutters and downspouts with splash blocks that discharge away from the home. We have discovered evidence of moisture intrusion inside homes when it was raining that would not have been apparent otherwise

*Approximate Lot Size:*

(Approx: 1.45 acres ),  
 (From Online Sources),

*Site:*

Over 95% of water penetration problems arise due to surface water not being appropriately managed, resulting from a negative gradient.

Proper design and maintenance of the water management components will help to prevent water infiltration and damage to building materials. Water from the roof system, exterior surfaces, and grounds should be moved away from the structure.

Topography: Level, Minor slope.

Grade at foundation appears serviceable  
 General photos of the grounds of the property.

Extend downspouts to divert water away from the house foundation.

There were downspouts present that were discharging within five feet of the foundation of the home.

Current standards require downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended to be conducted by a gutter contractor or other qualified person

**Grading Exercise:**

During a heavy rain storm , Safely walk around the property paying close attention to how the roof , gutters and downspouts and grading around the home performs during this time.

Observe the drainage patterns of your entire property , as well as the property of your neighbor. The ground around your home should slope away from all sides.

monitor the area for any ponding of water and potential areas of concern and address in a timely manner.

- If water infiltration into the lower level becomes a problem, it may be necessary to install a curtain drain in the rear yard to divert the flow of ground and surface water away from the foundation.

**Concern(s) / Recommendation(s)**

Any Areas of the soil that do not maintain proper slope away from the foundation should be addressed. This could allow surface water to flow towards the foundation.

All areas of the soil around the home should slope away from the foundation to encourage proper drainage away from the structure. If proper grading cannot be achieved, alternative means of drainage may be necessary (surface drain, french drain, etc.).

**Landscaping:**

*Information:*

Landscaping / Vegetation was inspected around the home to ensure that it had adequate clearance from the structure, and to ensure vegetation was not impacting the structure.

No deficiencies were observed unless otherwise noted in this report.

*Condition:*

Vegetation/ landscaping was inspected around the home to ensure that it had adequate clearance from the structure and was not impacting the structure.

OK NI MM RR

There was vegetation in contact with, or in close proximity to the home in areas. Pruning or removal of any plants that are within 1-2 feet of the home is recommended to be conducted by a qualified person to eliminate pathways of wood destroying insects, and to allow moisture to adequately dry behind these areas after rainfall events.

A flower bed, mulch, rock landscaping or soil was observed to be in contact or close proximity to the home. This can lead to moisture intrusion of the home. Recommend ensuring a barrier is in place to prevent moisture damage against the home or removing or addressing this landscaping feature to reduce the probability of moisture intrusion on the home and its components.



**Concern(s) / Recommendation(s)**

Except where otherwise noted, our site inspection was limited to those items/systems/components located directly adjacent to the inspected structure(s). Any comments made regarding items or systems greater than 10 feet from the inspected structure(s) was provided as a courtesy only. If this is a concern, you may wish to have the appropriate specialists evaluate those areas, systems, and components outside of the 10 foot limitation.

## EXTERIOR - FOUNDATION 3.0

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

**Exterior Walls:**

*Information:*

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. Inspection of the home exterior typically includes: exterior wall covering materials, window and door exteriors, adequate surface drainage, driveway and walkways, window wells, exterior electrical components, exterior plumbing components, potential tree problems, and retaining wall conditions that may affect the home structure.

*Materials & Condition:*

Siding materials consist of Vinyl siding.

**VINYL SIDING INFORMATION**

Vinyl siding is not a watertight cladding and is expected to allow some degree of moisture behind it as it heavily relies on the performance of the weather-resistive barrier (if present), or if installed over an existing wall cladding it relies on that cladding and its WRB or felt paper to manage and prevent water infiltration into the wall cavity. Prior to 2003 vinyl siding was allowed to be installed directly over OSB wall sheathing with no WRB in place as the unsealed nature of vinyl siding will allow air to dry the underlying components.

Regardless measures should be taken to prevent bulk moisture from entering behind the cladding with proper flashings and sealants.

OK NI MM RR

The general condition of the siding appears in serviceable condition at the time of the inspection ( except for issues noted the report )

Maintenance: Caulk around the A/C lines and any holes , gaps , or penetrations points to reduce the risk of moisture and pest intrusion.



Vinyl Siding Concerns & Condition:

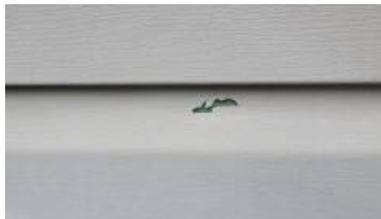
**MAINTENANCE:**

Vinyl and metal siding are extremely popular because they require less periodic maintenance than other types of siding materials. However, it is still necessary for the homeowner to periodically--at least once a year--carefully examine siding panels as well as ensure all J-channels around windows and doors are secure and drain properly. Vinyl and metal siding should be cleaned following the manufacturer's instructions

OK NI MM RR

DAMAGED VINYL SIDING

Area of cracked/ damaged siding observed. Repair/ seal/ Replacement is recommended to avoid moisture intrusion and further damage.



Flashing & Trim:

FYI - It's recommended to evaluate the exterior of the home every few years to make sure that the sealant or caulking is up to par to eliminate water, air, insect and dust entry. Walking the exterior of the home once every few months looking for any areas that might need attention is recommend.

Electrical Outlets:

GFCI Protected circuit

Hose Bibs / Hookups:

( See Plumbing section for more details )

Utility Connections:

See Plumbing (Fuel System) section for additional information.

Concern(s) / Recommendation(s)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Exterior caulking is the simplest energy-efficient measures to install. The purpose of exterior caulking is to minimize air flow and moisture through cracks, seams, and utility penetrations/openings. Controlling air infiltration is one of the most cost effective measures in modern construction practices. A home that is not sealed will be uncomfortable due to drafts and will use about 30% more heating and cooling energy than a relatively air-tight home. In addition, good caulking and sealing will reduce dust and dirt in the home and prevent damage to structural elements.

**Exterior Doors:**

*Information:*

Inspection of door exteriors typically includes examination of the exterior surface condition, weather-stripping condition, presence of an effective sweep (sweeps are gaskets which seal the area between the bottom of a door and the threshold), jamb condition, threshold condition and moisture-intrusion integrity.

Handlesets (deadbolts & door handles) are not inspected for their functionality with keys, as replacement or re-keying of any deadbolts and handles is recommended due to not knowing who may possess keys to the home. Therefore deadbolts and handles will be reported on with respect to their misalignment with the door only, preventing them from latching or locking properly.

*Main Entry Door:*

OK NI MM RR  
    Type: Wood,  
A storm door is present

Exterior doors appeared to be functional at the time of inspection.



*Rear Entry Door:*

Type: French Style Doors Installed,  
Exterior doors appeared to be functional at the time of inspection.



*Side Entry Door:*

Type: Fiberglass  
A storm door is present

Exterior doors appeared to be functional at the time of inspection.

- Door closure allows Door to slam, recommend adjustments or replacement of closure to allow for proper operation.



*Concern(s) / Recommendation(s)* - After moving into a new property we recommend that all exterior locks be either replaced or re-keyed. Any alarm systems or electronically keyed doors should also have their codes changed.

**Exterior Windows:**

*Information:*

The exterior components of the windows (trim, flashing, etc.) were inspected looking for damage, lack of proper flashing, clearance from grade, etc.

*Predominant Type:*

The Windows are composed of:  
clad-metal / vinyl , insulated glass,  
Vertical Sliders.



*Overall Condition:*

- OK NI MM RR  
    Overall Condition - Satisfactory

The overall condition of windows throughout the home was satisfactory. Windows opened using normal force however some windows may be in need of ongoing preventative maintenance to ensure full swing/opening of the window. This may include cleaning and lubricating the hardware and/or possible replacement of some window components on an as needed basis. Condition was Satisfactory with normal wear and tear observed due to age of windows.

- Screen Condition:**  
Some screens are missing.

( screen storage is located in the crawlspace area)



*Concern(s) / Recommendation(s)* The proper installation of flashings around windows is critical to water proofing the exterior walls. Missing, damaged or improperly installed flashings are the most common cause of moisture intrusion to walls and baseboards beneath windows. Because these flashings are concealed by the exterior wall covering, we cannot endorse them and specifically disclaim any evaluation of these flashings, and leaks may become evident only during heavy, prolonged or wind-driven rainfall. The window screens are not evaluated because many people choose to remove them for aesthetic reasons. Also, they are easily damaged and can be removed after our inspection.

Window cord strangulation warning:

Window cords presents a strangulation risk that often goes without thought. According to the U.S. Consumer Products Safety Commission (CPSC) Any long, knotted cords that are potentially within reach of small children and pets should be removed to prevent strangulation

NOTE: Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity levels change. Some windows with lost seals may not be evident at the time of the inspection. Windows are checked for obvious fogging and when present are noted in the report.

### Front Porch:

*Information:*

The porch(s) & deck(s) were inspected looking for water related damage, construction related deficiencies, and safety hazards.

Building standards are changed to improve safety for the occupants of the home. The standards are changed to make deck construction safer.

I evaluate all decks by today's standards, as safety can not be compromised, and safety is what I inspect for.

While I may list multiple deficiencies, a good deck contractor may find more as a home inspection is not technically exhaustive or quantifiable.



OK NI MM RR

Slab:     Porch type: Covered, Wooden Decking



	OK	NI	MM	RR	
Structure:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Type: Covered.
Post- Columns:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Support Pier Type: Wood Post.
Guard and Handrails:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The guardrails, stair rails, and handrails were inspected for their presence, proper sizing and spacing, looking for damage and securement, and other significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.



Stairs / Steps:     The stairs were inspected by looking at their construction, attachment, risers and treads, etc

NO GRASPABLE HANDRAIL

A graspable handrail is recommended where noted. In the event of a fall, handrails should be easy to grab to hopefully be able to catch yourself. Graspable handrails are generally rounded in shape. Other shapes may be difficult to grab and hold on to. This is considered a current safety concern.



Cover / Roof: Same as main roof. See Roofing page. (Refer to Roofing section for additional information.)

**Rear Deck:**

Information: The wooden decks(s) were inspected looking for water related damage, construction related deficiencies, and safety hazards.

Slab:

- Deck Slab: Attached Wooden decking  
 OK NI MM RR  
    Wood decks have a limited service life. Even the best maintained deck will need repair or eventual replacement. We suggest regular treatment with a combination wood preservative/UV inhibiting sealer.



Structure:

- Deck - Marginal Condition

Deck is weathered and in marginal condition at this time. Observed was significant deterioration, sagging bowed cupped joists, bowed & out of plumb posts, sagging beams, corroded hardware. Recommend further evaluation and repair/replace as needed by a qualified contractor.

Structure appears over spanned/sagging/damaged

wood rot and deterioration in areas noted- at minimum affected areas of wood rot and deterioration should be replaced

- FRAMING DECAYED

Deck framing had decayed wood in one or more areas. Repair is needed and should be performed by a qualified contractor.

The wood decking needs significant maintenance-type service, such as replacing damaged planks, securing loose or offset planks, replacing or resetting nails or screws, sanding, painting or sealing, all of which will prolong the life of the deck.



*Stairs / Steps:*

- OK NI MM RR

Handrail in place is considered as a non-graspable handrail and is a safety hazard. Recommend having a qualified contractor add a graspable handrail to prevent injury.



**Foundation:**

*Information:*

Visual portions of the framing, floor structure, slab, foundation walls, etc. were inspected looking for significant damage, proper building practices, potential water entry points, etc. Any visual limitations and/or hindrances for the floor structure or foundation area will be listed below. The inspection of the foundation area is limited to visual portions only. Insulation or any other item(s) are not moved or disturbed for visual accessibility. Any items, components and/or areas not visible at the time of inspection are excluded from the inspection.

*Type of Foundation:*

Raised Foundation with a crawlspace - Refers to a foundation wall with a footer below without a finished floor.

*Access: Crawlspace*

- Crawl space is fully accessible,  
 The crawlspace was inspected by entering and crawling through.

*Materials & Condition:*

Materials: Concrete Masonry Unit (CMU)

- The foundation was not visible at most areas



*Visible Foundation Wall Cracks at Exterior:*

Due to limited visibility, an external portion of the foundation is blocked from view and is not covered by this inspection.

*Recent Movement:*

- There is no evidence of any recent movement.

*Concern(s) / Recommendation(s)*

Recommend as an annual maintenance routine to inspect and properly seal all cracks / holes / rodent access points / replace damaged skirting and other areas of concern along the foundation wall to help prevent moisture intrusion and possible damage

Note: We are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We recommend that you ask the owner(s)/seller(s) if they have knowledge of any prior foundation or structural repairs.

## BASEMENT - CRAWLSPACE 4.0

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. **My inspector documents the findings as of the day of the inspection.** During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons.

**Crawlspace:**

*Information:*

Inspection typically includes evaluation of crawlspace floor; framed floor structure; foundation walls; plumbing (water, sewer, gas and any sump pumps); electrical; and HVAC (ducts and any equipment); insulation, vapor barrier.  
General Crawlspace views.



*Access:*

OK NI MM RR

Crawl space is fully accessible,  
The crawlspace was inspected by entering and crawling through.



*Walls:*

The foundation walls were not visible for evaluation due to a thick mil vapor barrier covering them (encapsulated).

*Odor:*

No odors were noticed or present at the time of the inspection.

*Moisture:*

Crawlspace Moisture - Low Reading

Low moisture readings were observed at the time of the inspection. Good ventilation and crawlspace height appear to be dispersing any water vapor properly as the moisture content in the wood members of the floor structure was within normal parameters. All crawlspaces can experience ground seepage if rains continue long enough or if there is localized flooding. Inspections are suggested to be performed annually in order to ensure no adverse conditions present themselves.

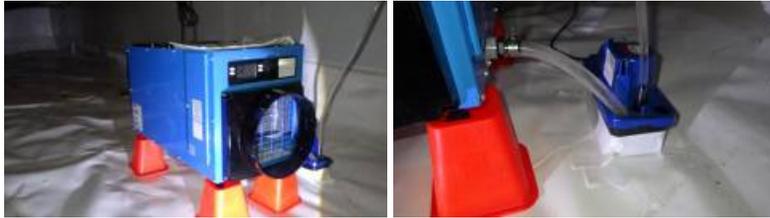
This home has a mechanically ventilated closed crawl space that uses dehumidification equipment for moisture control. Please note that closed crawl space systems require seasonal inspection and annual maintenance, the buyer should consult the contractor for more information concerning the recommended maintenance schedule and associated warranties.

- The best defense against water seepage is good drainage of soils near the foundation wall.

\*\*\*NOTE: It must be noted that any area below grade is susceptible to water seepage during certain weather conditions. It is not unusual for a basement that has remained dry for many years to develop a leak.

Maintaining proper grades around the foundation, and carrying roof water away from the structure are the best preventive measures that can be employed

( please refer to Grading- Lot drainage section of the report for more information)



*Beams/Underfloor:*

- OK NI MM RR

Underfloor support beams are wood.  
 Satisfactory - The visible portions of the beams installed appear to be in satisfactory condition.

Insulation restricts viewing of subflooring structure

- 

Termite shield installed? (No),  
 Termite shields are not present at the top of the piers and/or along sills at various locations at the time of the inspection. Termite shields help deter possible WDI intrusion to floor joist and/or beam material.

*Ventilation:*

- 

Method of humidity control: Enclosed / Controlled Method

Encapsulation (Vapor Barrier) of the crawl space is the preferred (correct) way to keep the moisture levels down inside the foundation area. Encapsulation is the installation of a thick mil vapor barrier that covers the soil, foundations walls, and floor supports. These systems are designed to control water and moisture content and related infiltration into the crawl space. A commercial grade dehumidifier is used to further help control moisture in the area. When encapsulation is present, the ventilation for the crawl space should be reduced with no insulation between the floor joist.

Satisfactory- The enclosed system appears to be adequate

*Floor:*

(Covered)

*Posts / Piers:*                                Post / Pier Type: Concrete Block,  
Satisfactory - The piers as installed appear to be adequate. No  
engineering analysis was completed.

*Electrical Outlets:*                        OK   NI   MM   RR  
            GFCI outlet(s) installed.



*Sump Pump:*                                Sump pump installed  
See also Plumbing section:

*Concern(s) / Recommendation(s)* Crawl spaces are navigated as best I can and all related components are inspected visually from an area that does not put the inspector at risk. The method of inspection is at my sole discretion and depends on a number of factors including, but not limited to: accessibility, clearances, perceived safety hazards, etc. The inspection of the crawl space is limited to visual portions only, and any areas that were not visible are excluded from this inspection. Hidden damage is always possible, as no crawl space can be fully evaluated at the time of the inspection due to physical and visual obstructions and safety limitations. Insulation is not moved or disturbed for visual accessibility of any items.

**Insulation & Vapor Retarders:**

*In Unfinished Areas:*

           Insulation is installed at under floor areas

FG Batts.

           There is a vapor barrier installed.  
The floor is covered with an approved vapor/moisture retardant material.  
The walls have a vapor barrier installed that deters moisture from entering the crawlspace through the walls.

           Recommend the area around the well saver tank / plumbing equipment be taped / sealed off.



## ROOF SYSTEM 5.0

Although not required to, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method used to evaluate them. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

### Roof:

*Information:*

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

*Style:*

Gable style roof, Shed, Porch roof W/ dormers.

*Roof Access:*

Inspected the roof from various locations and methods, including walking accessible areas, from the ground and a ladder, From the eaves, Mobile device camera

*Roof Covering:*

Types of Roof Covering: Metal, PBR Style.

*Roof Covering Condition:*

Metal Roof Panels Overview

The life expectancy of metal roofing materials can vary from 20-50 years, depending on the method of manufacture, thickness of the roofing material, the quality of the installation, and the roof design and exposure. Maintenance for metal roofs is often dictated by the manufacturer and recommended maintenance procedures can vary depending on whether the roof material is painted, has zinc all the way through, or whether it is thinner sheet metal with painted-on weather protection. Some roofs only require debris to be cleaned off to prevent water damming. Others have proprietary cleaning methods to prevent damage to coatings and may require touch-up of corrosion to prevent corrosion from causing leaks.

OK NI MM RR

- Metal Roof, (Less than 20 Years)

The metal roof condition is consistent with a metal roof that is less than 20 years of age. Some fading of the metal roof finish has occurred. Rubber washers at screws are in fair condition. While a metal roof may last upwards of 40 years, the fasteners will require periodic maintenance and replacement as they back out and the rubber washers deteriorate. Additionally, metal roof penetrations often have to incorporate moderate sealant that will also require periodic maintenance.

- OK NI MM RR  
    SNOW GUARDS - MISSING  
 ( REAR SECTION)

Snow guards were not present on the metal roof panels. This can allow snow and ice to sheathe off the roof in the winter months, possibly damaging guttering and/or creating an injury to people walking below. The installation of snow guards is recommended to be conducted by a qualified roofing contractor.

- Screw Fastener Maintenance

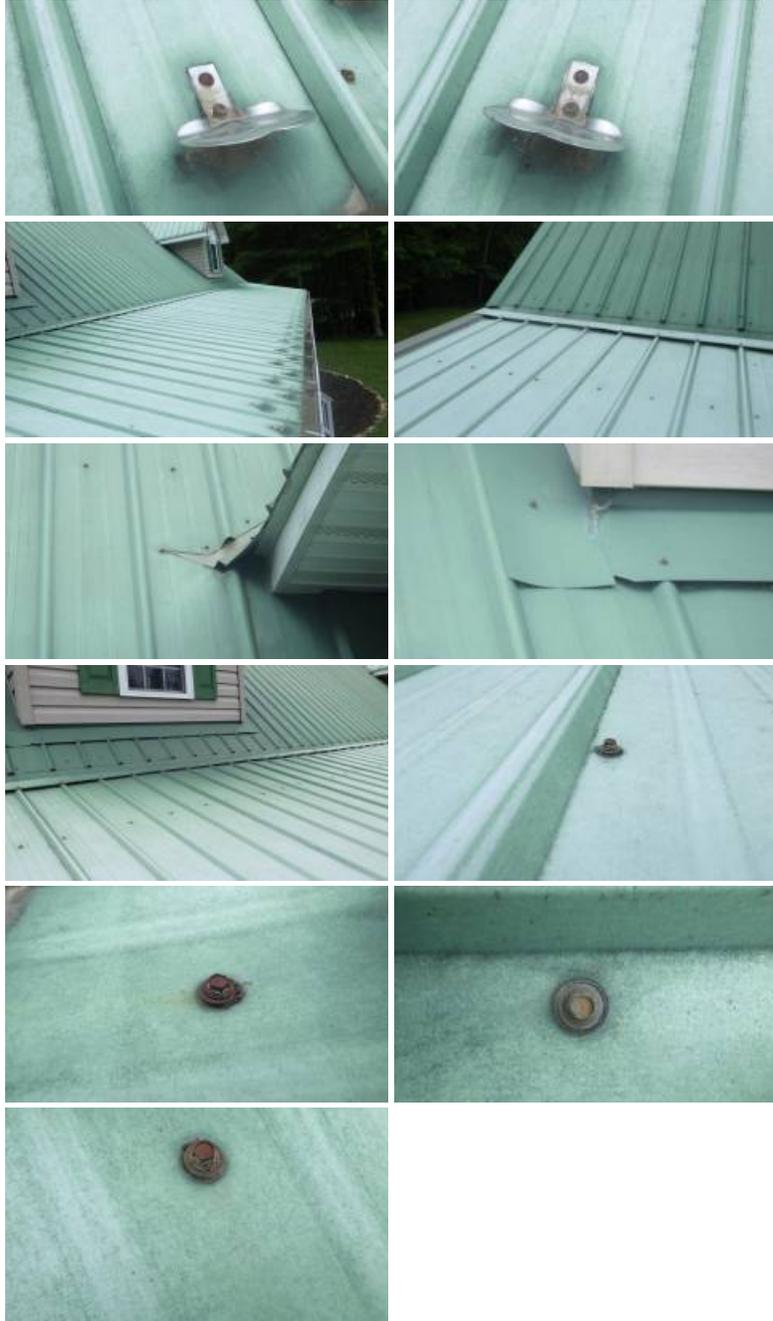
The metal panels are secured with screw fasteners. There are gaskets around the screw fasteners that will eventually become dry and will crack. This raises potential for leaks. The screws and gaskets will need to be monitored and maintained to discourage leaks.

A few loose screws noted and should be retightened or replaced to ensure weatherability.

- NOTE: The roof cover materials should be inspected annually as part of a routine maintenance plan. - to include tightening of loose fasteners and renewing sealants/ caulking

- Snow stops/ guards installed  
 Check sealant around snow guards ( if any) to ensure weatherability atleast annually





*Concern(s) / Recommendation(s)* Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize roof life.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions.

Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

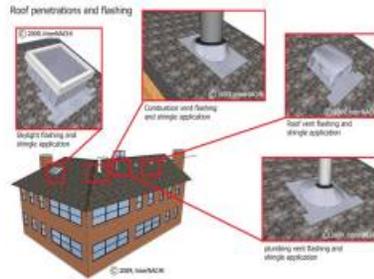
**Flashings/ Penetrations:**

*Information:*

Visible portions of the flashings were inspected looking for significant deficiencies (drip edge, sidewall, headwall, counter, step, etc - as applicable). Typically most areas of flashings are not visible as they are covered by the roof covering material and/or the wall cladding (as applicable), and these areas are excluded from this inspection. Therefore functionality has to be determined by looking for moisture intrusion on ceilings where the flashing was presumed to be in place, or on the roof decking and from within the attic (as accessible)

Flashing is a general term used to describe sheet metal fabricated into shapes and used to protect areas of the roof from moisture intrusion. Inspection typically includes inspection for condition and proper installation of flashing in the following locations: - roof penetrations such as vents, electrical masts, chimneys, mechanical equipment, patio cover attachment points, and around skylights; - junctions at which roofs meet walls; - roof edges; - areas at which roofs change slope; - areas at which roof-covering materials change; and - areas at which different roof planes meet (such as valleys).

- The photo shows examples of where roof flashing might be found under ideal conditions.



*Flashings:*

OK NI MM RR

- Types Noted: Metal, Rubber boot flashing.
- NOTE: The roof flashing and boot flashing should be inspected annually as part of a routine maintenance plan
- One or more rain collars on the plumbing vent stacks are buckled. This condition can allow for water to pond next to the pipe and eventually leak via capillary action into the roof structure. Recommend having a qualified roofing contractor repair so rain collars will shed water off and away from pipe.



**Penetrations:**

The plumbing stack vents, their related rain boots, and other roof penetrations were inspected by looking at their clearance, the integrity of their boots, for proper installation, or any significant defects

OK NI MM RR

Roof penetrations describe the vents or flues that pass through the roof sheathing and covering materials. These penetrations will typically include flashing and boots designed to keep water out. The rubber boots that are used on penetrations will need to be replaced periodically.

- Painting of the plumbing vent stacks with a UV protective paint is recommended to help prolong the service life of the plumbing vent pipe.

NOTE: The roof flashing and boot flashing should be inspected annually as part of a routine maintenance plan

*Concern(s) / Recommendation(s)* Roof penetrations can be a source of moisture intrusion. I recommend monitoring the roof penetrations and the interior of the house for evidence of moisture intrusion and contacting a qualified roofer as needed.

**Eaves - Soffits - Fascias:**

*Information:*

The eaves are the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a building. The eaves form an overhang to throw water clear of the walls. The Soffit is the underside of the eave whereas the Fascia is the outward-facing vertical portion.

*Soffits / Eaves:*

The soffit and eave area was inspected at visible portions looking for any water damage or other significant defects.  
Soffits and overhang materials are Aluminum clad material .

No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

*Fascia & Rake boards:*

The fascia and rake boards was inspected at visible portions looking for any water damage or other significant defects.  
Fascia materials are Aluminum clad material .

No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.



**Gutters & Downspouts:**

*Information:*

The gutter system was inspected looking for proper securement, debris in the channel, standing water, damage, etc. Leaking gutters can sometimes not be diagnosed if an active rain was not occurring at the time of inspection or if debris accumulated after the inspection, sealing or repairs may be needed at seams or endcaps and raised nails / screws should be kept secured.

The downspouts were inspected to ensure they were diverting rainwater away from the foundation walls. Testing for blockages in downspouts or drainpipes is beyond the scope of a home inspection, as is locating their termination point. About Roof Drainage

Proper design and maintenance of the roof drainage system is critical for protecting the foundation and keeping the basement dry. Keeping the rain gutters clear to prevent overflow and extending the downspouts away from the foundation are the two most important aspects of maintaining a properly designed system. Home owners should consider using a contractor who specializes in cleaning and maintaining the roof drainage system. This is dangerous work and even a short fall from a ladder can be fatal or cause serious injury.

*Type & Condition:*

Building is fully guttered,  
Gutters and downspout materials are aluminum.

OK NI MM RR

Periodically check all joints for leaks and caulk where it is required.

All gutters should be pitched toward their downspouts and the leaders should terminate as far from the building as practical. Gutters and rain leaders must remain free flowing at all times.

Extend downspouts to route rainwater away from the building.

Gutters are discharging water near the foundation.  
There were downspouts present that were discharging within five feet of the foundation of the home. Current standards recommend downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended to be conducted by a gutter contractor or other qualified person

There is a low spot in the gutters that inhibits the proper drainage of water. Suggest it be corrected to allow proper flow of water to the downspout

Guttering holding water - recommend removing blockage for proper drainage of the Guttering system





*Concern(s) / Recommendation(s)* Recommended to periodically clean debris from the guttering channels to prevent downspouts from clogging. Clogs in downspouts can allow the gutters to overflow; damaging roof sheathing, fascia boards, and saturating grounds at the foundation.

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

**Attic & Insulation:**

*Information:*

Inspection of the attic spaces includes observation of the following components: the presence and general condition of the insulation, methods of ventilation, and visual condition of the framing.

As noted in the standards of practice, the roof framing system is not inspected for design or load calculations - ventilation and insulation value are not calculated for adequacy or performance.

Obvious and visible signs of water intrusion will be noted in this report and effort will be made to try to determine water entry is ongoing - however, it is not possible in all situations to verify.

All items in this section should be reviewed and corrected by the appropriate trades professionals.

**Attic Maintenance:**

All attic areas should be reviewed at least twice per year to ensure ventilation openings are clear and to ensure development of mold or other issues are kept in check.

*Access:*

Knee wall door access provided  
Attic is partial  
Attic is partially floored  
The Inspector evaluated the attic from the access hatch.  
Access restrictions  
owner's belongings



Structure:

OK NI MM RR

The roof structure was inspected at visible portions looking for any signs of moisture infiltration, damage, or other deficiencies.  
 -No reportable conditions or indications of past or present leaks were observed at the time of inspection unless otherwise noted in this report.  
 - No deficiencies were observed in the condition of the visible portions of the vent piping throughout the attic space.

General photos of the attic area and roof structure.

A rafter system is installed in the attic cavity to support the roof decking.

Engineered lumber

SHEATHING- The roof decking material is oriented strand board sheathing. (OSB)

The visible portions of the roof sheathing appeared to be in serviceable condition.

The rafters or truss system appears to be in satisfactory condition.





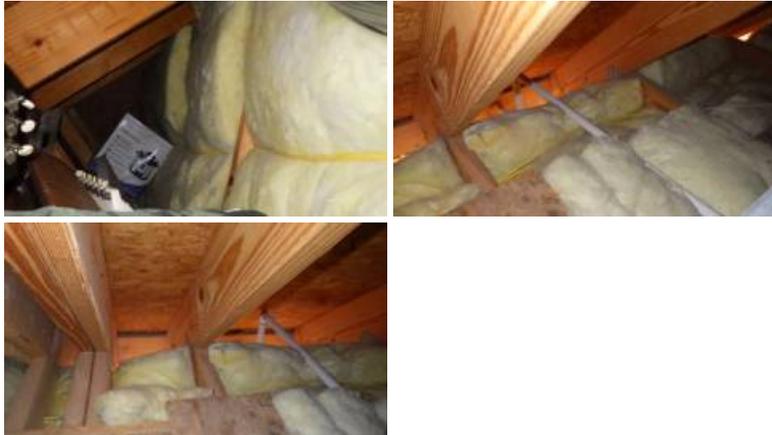
*Insulation:*

The insulation was inspected to determine the approximate depth and type. Current energy star standards recommend approximately 14 inches of insulation to achieve an R-38 rating. Depending on when the home was constructed anywhere from 8-14 inches may be present.

OK NI MM RR

Types of insulation used: Fiberglass batts.  
Insulation is installed between floor joists

Along interior wall sections



*Attic Wiring:*

Insulation limits viewing and full evaluation of branch wiring in the attic. Any reference to branch wiring is limited to readily visible areas.

*Concern(s) / Recommendation(s)*

Note: Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

LMT - The attic area was walked where possible, but not all areas were able to be safely traversed due to insulation obscuring the bottom chord of the truss or ceiling joists. Traversing an attic with a insulation is dangerous, as footing can be lost. Also, compressing or disturbing insulation by stepping on it affects its R-value and essentially "damages" it. This insulation also obscures wiring and plumbing pipes, and these items can be damaged by stepping on them. The inspection of the attic area is limited to visual portions only. Hidden damage may exist in areas that were not visible from accessible areas.

**Ventilation Provisions:**

*Information:*

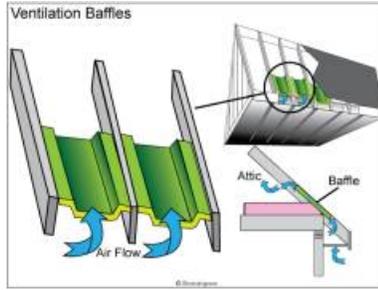
The attic ventilation was reported on by a visual inspection of the above designated ventilation sources, and looking for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted.

*Type / Condition:*

OK NI MM RR

A combination of soffit and continuous ridge vents were installed to ventilate the attic space. This is typically an effective combination.

Baffles installed for soffit vents to help prevent blockage.



*Concern(s) / Recommendation(s)* A poorly vented attic space can shorten the life of the roof covering material due to excessive heat and possible condensation

## ELECTRICAL SYSTEM 6.0

We are not electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

**Service:**

<i>Type &amp; Condition:</i>	OK   NI   MM   RR <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Power was supplied to the home via an underground service lateral  - The panel and its components have no visible deficiencies, - The meter and conduit appeared to be in satisfactory condition.
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<i>Grounding Equipment:</i>	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	The electrical system was inspected for the presence of a grounding electrode conductor (GEC) and its attachment point to a grounding electrode (ground rod, UFER connection). Typically, the attachment point of the GEC to a ground rod is not visible, but sometimes it is. No indications of deficiencies were observed at visible portions unless otherwise noted in this report.
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Grounded via rod(s) in ground



**Electrical Distribution Panels:**

*Information:*

Inspection of the main service panel typically includes examination of the panel interior and exterior condition, panel amperage rating, main disconnect amperage rating and condition, main conductor amperage ratings, branch conductor types, amperage rating and condition, visible wiring materials types, condition and connections, circuit breaker types, amperage ratings and condition, label information, service and equipment grounding and bonding of service equipment.

*Main Panel Location:*

Location: Laundry room / Service Room, Hallway.



*Main Circuit Rating:*

200 amps,  
BRAND- Siemens.



*Entrance Cable Size:*

OK NI MM RR  
    Wire size, approximately: 4/0 Aluminum  
Anti-oxidant paste has been applied.



*Service Disconnect Switch:* Located at the top of main panel

The pictured electrical service disconnect will shut off all power to the home in the case of an emergency, or for servicing.

*Legend Available:*

OK NI MM RR

Yes - Identification of the breakers and the appliances or areas they control are clearly marked. This inspection does not verify the accuracy of this legend.

-Don't rely on accuracy of breaker labels. Verify labels before starting any electrical repair. Electrical upgrades may require a permit from local municipality having jurisdiction. For optimum safety all electrical repairs should be made by licensed electricians.



*Main Panel Observations:*

Access panel cover removed ? ( Yes),  
Circuit and wire sizing correct so far as visible,  
Grounding system is present,  
The service panel contained Ground Fault Circuit Interrupter (GFCI) breakers designed to provide protection by shutting off current flow should sensors indicate a difference between incoming and outgoing voltage in outlets at protected circuits.

The main electrical service panel contained Arc Fault Circuit Interrupter (GFCI) breakers designed to provide fire protection by shutting off current flow should sensors detect arcing at outlets on the protected circuit. AFCI protection of electrical outlets in sleeping rooms is required in new construction.

**Inspection: 1552 Address: 2716 Peaks Mountain Road**

- Regular testing of GFCI's and AFCI's using the built-in test function is recommended

OK NI MM RR

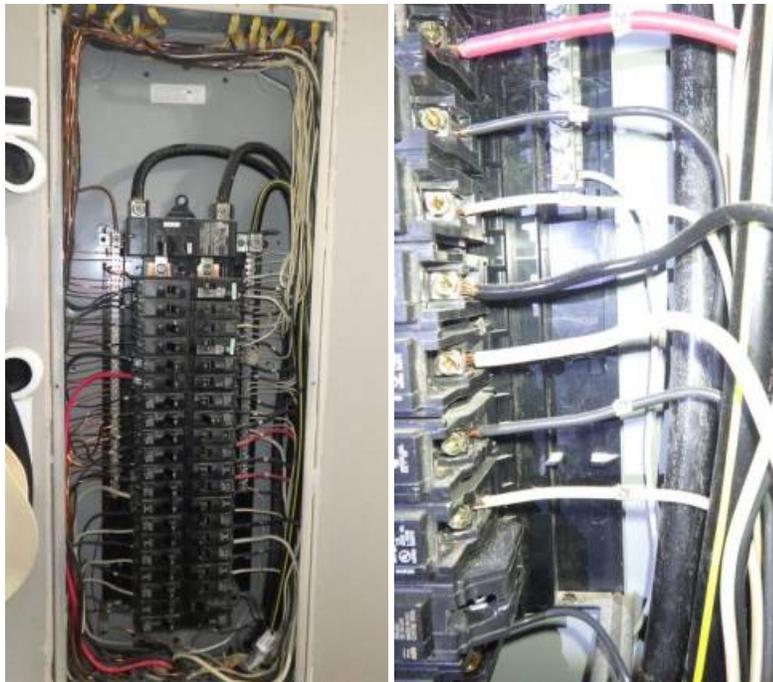
- BREAKER(S) - DOUBLE LUGGED

SFTY - Double lugged breaker(s) were present in the panel. This is where two conductors (wires) are under the lug (screw) of a breaker. The breakers are only rated for one conductor, and the lug can not be torqued to proper specs with two wires present, which could cause overheating, arcing, or other deficiencies. Repairs are recommended to be performed here as deemed necessary by a licensed electrician.

One or more white, neutral wires were being used as a hot wire but appeared to not be marked as such. Recommend proper marking of any neutral wires being used as hot wires

- BREAKER(S) - POSSIBLE UNAPPROVED BREAKERS PRESENT

The electrical panel was equipped with breaker(s) manufactured by a company other than the panel manufacturer. Some circuit breaker models from different manufacturers may be substituted for each other, but confirmation of what models are acceptable is beyond the scope of a home inspection. An evaluation of the breaker(s) to determine their acceptability is recommended to be performed by a licensed electrical contractor, with replacement of breakers made as needed, if needed.





*Concern(s) / Recommendation(s)* Once or twice a year flip circuit breakers off and on to maintain good mechanical contact. Regular testing of the GFCI protected outlets/circuits is advised per manufacturer's recommendation.

NO SURGE PROTECTION FOUND

No surge protection was noted at the electrical equipment today. The 2020 edition of the National Electric Code requires type 1 or type 2 surge protection on new or renovated homes. Though possibly not adopted yet this code change reflects the growing complexity of electric appliances in our houses and the growing risk of damage to electrical equipment due to internal or external electrical surges. I recommend upgrading and adding surge protection for improved protection of the electrical appliances in this building.

**Conductors:**

*Information:*

The branch wiring was inspected at visible portions looking for any significant deficiencies or defects that could be a fire and/or safety hazard; including but not limited to: connections made outside of a junction box, wiring terminations, open junction boxes, damage, the wiring material, improper support, etc. The majority of branch feeders are not visible due to being behind wall and ceiling coverings, insulation, etc.

*Entrance Cables:*

OK NI MM RR

Underground Service- Conductors and cables are installed underground and cannot be inspected at this inspection. Observations pertained to entry into panels only.

*Branch Wiring:*

Wiring Types: NM Sheathed Cable,  
Finishes may conceal other types of wiring  
Portions of the Electrical wiring as not visible or accessible for the inspection , therefore not all of the wiring was inspected.

No significant deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

*Concern(s) / Recommendation(s)*

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Low voltage systems/ wiring not inspected:

Any low voltage systems in or around the home was not inspected and are excluded from this inspection. Including but not limited to: Phone / Telcom systems, cable coaxial systems, ethernet wiring, alarm systems low voltage lighting and applicable wiring, etc..

**Switches & Fixtures:**

*General:*

A representative sampling of switches was tested. As a whole, switches throughout the house are in serviceable condition. Unless otherwise noted in the report.

*Disclaimer :*

Disclaimer  
Switches are sometimes connected to fixtures that require specialized conditions, such as darkness or movement, to respond. Switches sometimes are connected to electrical receptacles (and sometimes only the top or bottom half of an receptacle). Because outlets are often inaccessible and because including the checking of both halves of every electrical outlet in the home exceeds the Standards of Practice and are not included in a typical General Home Inspection price structure. Functionality of all switches in the home may not be confirmed by the inspector.

**Electrical Outlets:**

*General:*

Installed Outlets Styles : Modern 3 Prong receptacles installed, GFCI receptacles installed,

At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only. ( unless otherwise noted in the report)

OK NI MM RR

- Because the house was occupied, the AFCI breakers were not tripped.

Regular testing of GFCI's and AFCI's using the built-in test function is recommended.

At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.  
- Unable to check all outlets due to personal belongings

**Other Electrical Circuitry:**

*Doorbell :*

Yes - At least one exterior door has a working doorbell.

## HEATING - AIR CONDITIONING 7.0

The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. We perform a conscientious evaluation of the system, but we are not specialists.

Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

### Heating Equipment 1 :

*Information:*

The inspection of the HVAC system is limited to the response of the system at normal operating controls (the thermostat) in both heating and cooling modes (weather permitting); a non-invasive visual observation of the exterior and interior equipment, and the removal of any access panels made for removal by a homeowner (not requiring ANY tools). If a more thorough inspection is desired, an HVAC contractor should be consulted.

*Type & Location:*

Forced Air.  
Heat pump.

Air handler Location- Crawlspace.



*Brand:*

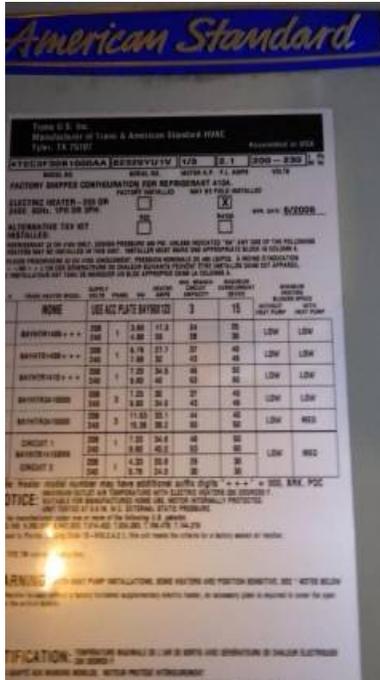
Brand: American Standard ( Trane)

*Fuel Source:*

Electric.

*Capacity / Approx. Age:*

Model # 4TEC3F30B1000AA  
Serial # 82325YU1V  
Manufactured Date: June 2008 ( 17 years old )



Hvac Location/Coverage Area

First Floor.

General Operation & Cabinet:

OK NI MM RR

- Unit was operational at the time of inspection.
- Recommend yearly servicing and maintenance by a qualified service technician.
- System appears clean . Fan compartment appears clean.
- Condensate line installed
- CONDENSATE DRAIN

Pump / Blower Fan:

Condensate Line:

It is recommended to have the Condensate drain for the air handler directed away from the house. The drain is too close the exterior wall and allows moisture at the wall/footing areas. Recommend to have at least 36"from exterior foundation wall/slab.



Air Filters:

Normal Controls:

See Ductwork/ Distribution section for more details:

- Thermostat is located in the living room. The thermostats were operated and they initiated the HVAC systems at the time of inspection.



*Concern(s) / Recommendation(s)* Regular HVAC Maintenance

HVAC systems benefit from regular filter changes and servicing as part of your regular home maintenance plan. We highly recommend having the HVAC System(s) serviced when moving into the home, and then on a annual or bi-annual schedule. Regular filter changes are also recommended to maximize the performance and longevity of your HVAC System.

**Heating Equipment 2 :**

*Information:*

The inspection of the HVAC system is limited to the response of the system at normal operating controls (the thermostat) in both heating and cooling modes (weather permitting); a non-invasive visual observation of the exterior and interior equipment, and the removal of any access panels made for removal by a homeowner (not requiring ANY tools). If a more thorough inspection is desired, an HVAC contractor should be consulted.

*Type & Location:*

Forced Air.  
Heat pump.

Air handler Location- Attic.



*Brand:*

Brand: American Standard ( Trane)

*Fuel Source:*

Electric.

*Capacity / Approx. Age:*

Model # 47EC3F18B000AA  
Serial # 7303NDU1V  
Manufactured Date: July 2007 ( 18 years old )



*Hvac Location/Coverage Area*

Second Floor.  
OK NI MM RR

*General Operation & Cabinet:*

Unit was operational at the time of inspection.  
Drain pan installed

Drain pan over flow shut off installed

OK NI MM RR

Recommend yearly servicing and maintenance by a qualified service technician.

CORROSION INSIDE FURNACE

Corrosion inside of the furnace may indicate that there is a condensate leak from the evaporator coil. This condition may affect the operational lifespan of the equipment.



*Pump / Blower Fan:*

System appears clean . Fan compartment appears clean.

*Condensate Line:*

Condensate line installed  
A condensate overflow pan is present.  
Drain pan over flow shut off installed.

the HVAC systems condensate drain terminates above the roofline, discharging directly into the gutter. From there, the water follows the same path as rain runoff, flowing through the downspout and dispersing onto the ground near the foundation. While this setup allows the condensate to exit the structure, it does pose a risk during freezing temperatures, as water in the gutter system can freeze and potentially back up into the drain line. Relocating the condensate discharge to a more protected, ground-level location is recommended to help prevent freeze-related issues.

IMPROPER CONDENSATE DRAIN LINE

The installed condensate drain line on the HVAC unit is improperly installed. The line must be provided with a trap and a clean out. Recommend correction to the drain line from qualified HVAC professional.

Periodic checking to make sure that the line is clear will help maintain the system

NO SECONDARY DRAIN

No auxiliary drain line. Recommend adding a shut off switch or directing the condensate to the outside or pan below the unit. If the primary is plugged up then the condensate will run out of the sides of the unit and can damage the flooring or if on the second floor or attic, then damage to the ceiling and possibly furniture and flooring.



*Air Filters:*

See Ductwork/ Distribution section for more details:

*Normal Controls:*

OK NI MM RR

Thermostat is located on the 2nd floor area  
 The thermostats were operated and they initiated the HVAC systems at the time of inspection.



*Concern(s) / Recommendation(s)* Regular HVAC Maintenance

HVAC systems benefit from regular filter changes and servicing as part of your regular home maintenance plan. We highly recommend having the HVAC System(s) serviced when moving into the home, and then on a annual or bi-annual schedule. Regular filter changes are also recommended to maximize the performance and longevity of your HVAC System.

**Air Conditioning 1:**

*Information:*

Inspection of home cooling systems typically includes visual examination of readily observable components for adequate condition, and system testing for proper operation using normal controls. Cooling system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies.



*Primary Type:*

General Info: Split System HVAC Present

This home contained a split system for heating and cooling which typically consists of four main parts:

An Exterior unit (Heat Pump or AC Unit)

An Interior unit (Electric Air Handler or Gas Furnace)

A Thermostat

And Interior ductwork to distribute conditioned air throughout the home.



*Brand:*

Brand: American Standard ( Trane)

*Fuel Source:*

OK NI MM RR

- Electrical disconnect present.  
Maximum fuse/breaker rating (amps): 25 amp  
Fuses/Breakers installed (amps): 30 amp.
- disconnect cover is loose, broken attachment- recommend securing and/or upgrading to metal disconnect
- The breaker protecting the exterior HVAC unit was oversized by 5 amps. Typically no repercussions will occur by oversizing the breaker by 5 amps, but oversizing it by 10 amps or more can allow for the breaker not to trip when needed and cause damage to the system. Replacement of the breaker with one of the proper size is recommended to be conducted by a licensed electrician.



**Capacity / Approx. Age:**

Capacity: 2.5 Tons  
Model # 4A6H3030A1000AA  
Serial # 8233WS82F  
Manufacture Date: June  
2008 ( 17 years old )

**Return Air Temp:**

69 F.

**Supply Air Temp:**

52 F.



*Air Temp Drop:*

OK NI MM RR

17 F Good cooling - with 18 - 20 F considered optimal  
The temperature differential noted for the unit is okay at the time of the inspection

*Hvac Location/Coverage Area  
System Condition:*

First Floor.

The unit was operational at the time of the inspection  
Pad Type: Concrete Pad.

Recommend keeping the condenser unit fins clean and free of dirt and debris.

Recommend yearly service and inspection by a qualified air conditioning contractor

Refrigerant suction line is exposed and needs pipe insulation added at a minimal expense.



Refrigerant Type R-410A Refrigerant.  
Concern(s) / Recommendation(s) A/C Maintenance Info

Spray the exterior coils with a garden hose during the summer to keep them clean, improve efficiency and prevent damage. Disconnect the 240-volt circuit during the winter months. This prevents accidental cold weather operation, which can damage the compressor. Do not wrap the exterior coils during winter. It is not necessary and can sometimes create a moisture problem. For the best airflow provide at least 24-inches of clear air space around the compressor.

The following list is a minimum set of requirements to be expected of heat pump or air conditioning servicing. I provide these as a courtesy to show they types of check-ups that should be expected from a professional servicing.

Check compressor efficiency

Check refrigerant level

Clean the condenser coil

Change or clean air filters

Inspect contactors and wiring

Inspect drive-sheaves, pulleys and belts

Check and adjust for proper air flow

Clean the blower motor as needed

Lubricate all motors and shaft bearings

Check, calibrate and program the thermostats and be sure the thermostat has adequate batteries as needed

Check unit smoke detector, clean filter if applicable

Check safety disconnect, laser-temp -- check across contacts

## Air Conditioning 2:

*Information:*

Inspection of home cooling systems typically includes visual examination of readily observable components for adequate condition, and system testing for proper operation using normal controls. Cooling system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies.

*Primary Type:*

Cooling Equipment: Split System

The air conditioning system was a split system in which the cabinet housing the compressor, cooling fan and condensing coils was located physically apart from the evaporator coils. As is typical with split systems, the compressor/condenser cabinet was located at the home's exterior so that the heat collected inside the home could be released to the outside air. Evaporator coils designed to collect heat from the home interior were located inside a duct at the furnace and were not directly visible.



Brand:

Brand: American Standard ( Trane)

Fuel Source:

- |                                     |                          |                                     |                                     |  |
|-------------------------------------|--------------------------|-------------------------------------|-------------------------------------|--|
| OK                                  | NI                       | MM                                  | RR                                  |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Electrical disconnect present.<br>Maximum fuse/breaker rating (amps): 15 amps<br>Fuses/Breakers installed (amps): 30 amp.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | disconnect cover is loose, broken attachment- recommend securing and/or upgrading to metal disconnect  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | The breaker protecting the exterior HVAC unit was oversized by 10 amps. Typically no repercussions will occur by oversizing the breaker by 5 amps, but oversizing it by 10 amps or more can allow for the breaker not to trip when needed and cause damage to the system. Replacement of the breaker with one of the proper size is recommended to be conducted by a licensed electrician. |

**Capacity / Approx. Age:**

Capacity: 1.5 Tons  
Model # 4A6H3018A1000AA  
Serial # 8213WXJ2F  
Manufacture Date: May 2008  
( 17 years old )



*Hvac Location/Coverage Area*

Main Floor.

*System Condition:*

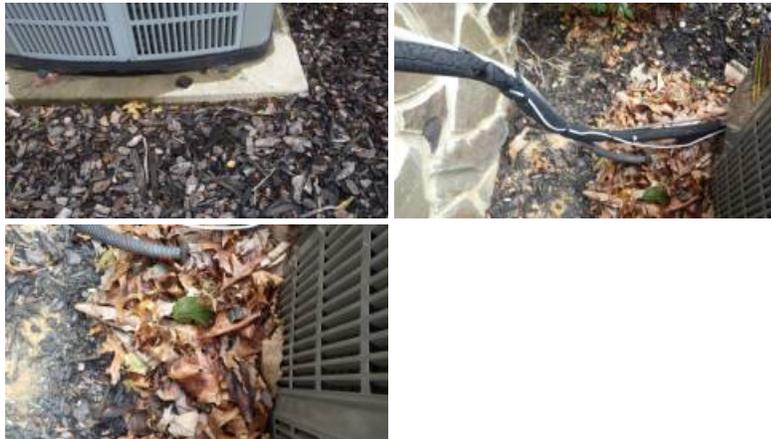
OK NI MM RR

The unit was operational at the time of the inspection  
Pad Type: Concrete Pad.

Recommend keeping the condenser unit fins clean and free of dirt and debris.

Recommend yearly service and inspection by a qualified air conditioning contractor

Recommend keeping leaves and debris from accumulating behind the unit



*Refrigerant Type*

R-410A Refrigerant.

*Concern(s) / Recommendation(s)*

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

A/C Maintenance Info

Spray the exterior coils with a garden hose during the summer to keep them clean, improve efficiency and prevent damage. Disconnect the 240-volt circuit during the winter months. This prevents accidental cold weather operation, which can damage the compressor. Do not wrap the exterior coils during winter. It is not necessary and can sometimes create a moisture problem. For the best airflow provide at least 24-inches of clear air space around the compressor.

**Ductwork / Distribution:**

*Information:*

The ductwork was inspected at visible portions looking for damage, loose connections, or other significant defects.

*Ducts / Air Supply:*

- A combination of types and styles of duct work was observed in place and in use as supply/return system.  
Both rigid / flexible ductwork may be installed.  
Insulated sheet metal, Floor vent installed Fiberglass Ductboard.  
System appears to be clean and serviceable

OK NI MM RR

- Clean Your Ducts Every 3 to 5 Years: As a rule of thumb, the National Air Duct Cleaners Association (NADCA) suggests cleaning your ducts every 3 to five 5. More often if in dusty conditions.



*Air Intake/Filters:*

- Air Filter Located in, Den, second floor play room  
Types: Filter(s) are Disposable types.  
Size of filters installed: 20 X 25 X 1  
Condition: Good overall condition.
- It is recommended that disposable filter(s) be cleaned or changed out every 30 - 45 days for best performance



*Concern(s) / Recommendation(s)*

Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).

## PLUMBING SYSTEM 8.0

Water quality or hazardous materials (lead) testing is available from local testing labs, and not included in this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection, nor can the presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume. Plumbing components such as gas pipes, potable water pipes, drain and vent pipes, and shut-off valves are not generally tested if not in daily use. The inspector cannot state the effectiveness or operation of any anti-siphon devices, automatic safety controls, water conditioning equipment, fire and lawn sprinkler systems, on-site water quality and quantity, on-site waste disposal systems, foundation irrigation systems, spa and swimming pool equipment, solar water heating equipment, or observe the system for proper sizing, design, or use of materials.

The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. Therefore a regulator is recommended whenever street pressure exceeds 80 psi. However, regardless of pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress washers and diaphragms within various components.

Waste and drainpipes pipe condition is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. Older homes with galvanized or cast iron supply or waste lines can be obstructed and barely working during an inspection but later fail under heavy use. If the water is turned off or not used for periods of time (such as a vacant house waiting for closing), rust or deposits within the piping can further clog the piping system. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains at the time of inspection. Nonetheless, blockages will still occur in the life of any system.

**Main Line:**

*Information:*

The main water shut-off was inspected, with concerns ( if noted) below. This can be used to turn all of the water off to the home in the event of a plumbing emergency or when plumbing repairs are needed.

*Shut Off:*

OK NI MM RR

Main shutoff valve location: crawlspace area

Although the main water supply shut-off valve was not operated at the time of the inspection it was visually inspected and appeared to be in serviceable condition.



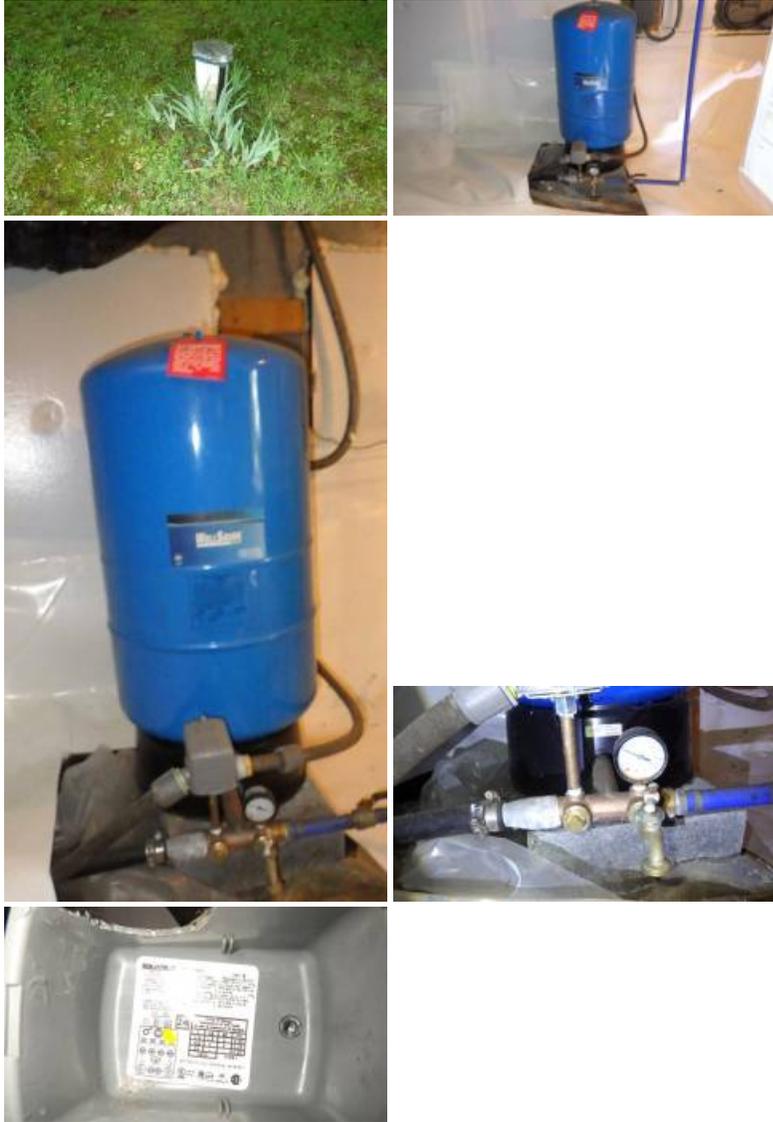
*Pump/Well*

well installed on the property

Pressure Switch settings : 30 On / 50 OFF

Well Saver Tank installed - Appears in serviceable condition

Well equipment appears to be serviceable at the time of the home inspection



Pressure:

OK NI MM RR

Water pressure from 40 to 80 pounds per square inch is considered within normal/acceptable range. Water pressure appears adequate, except at fixtures if noted in the report, Functional Flow, Satisfactory.

Softener / Filtration:

None installed.

Concern(s) / Recommendation(s)

Private water components were present at the home. These components were not inspected for their design or proper installation (tanks, pumps, filtration systems, etc), but rather their functionality will be determined by operating faucets throughout the home. No indications of reportable conditions were present by operating water faucets throughout the home. If a more thorough inspection of these components is desired, I recommend contacting a licensed plumbing contractor.

**Supply Lines:**

*Information:*

Visible portions of the water distribution pipes were inspected looking for leaks or other significant deficiencies.

*Material:*

Types: Plastic- PEX,  
Portions of the main water line were not visible or accessible for the inspection , therefore not all of the line was inspected.  
Finishes may conceal other types of materials used.



*Condition:*

OK NI MM RR

The visible water distribution pipes appeared to be in generally serviceable condition at the time of the inspection. Notable exceptions will be listed in this report.

*Concern(s) / Recommendation(s)*

Shut-off valves are not tested for operation during the inspection. Most cutoff valves are not operated regularly and as such they are prone to leak when operated. They should only be used to shut off the water in the event of a leak that could damage surrounding materials.

LMT - Portions of the water distribution pipes were not visible due to ceiling coverings / walls , insulation, etc.. The inspection is limited to visual portions only, and any items not visible are excluded from this inspection. If these pipes are a concern, consulting a plumber for evaluation prior to the end of your inspection contingency period is recommended.

**Waste Lines:**

*Information:*

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other significant deficiencies.

*Material:*

Types: Plastic, PVC,  
Finishes may conceal other types of plumbing materials,  
Portions of the waste lines were not visible or accessible for the inspection , therefore not all of the line was inspected.

*Condition:*

A sewer/septic lateral cleanout was present. Cleanouts are reported on with regards to their presence only and are not attempted to open or verify any other information  
Air admittance valves are installed in one or more areas of the plumbing

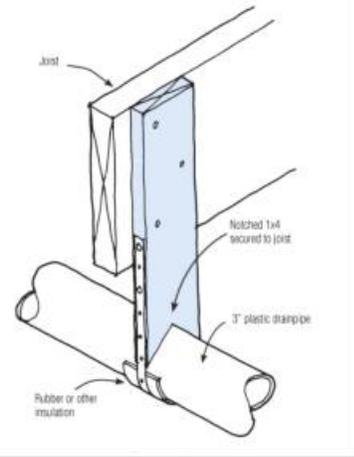
PVC/ABS - IMPROPER HANGERS

There were improper supports and/or hangers used to secure the drain and waste pipes. Improper supports can allow for abrasion of the pipes due to movement and thermal expansion as well as not preventing uplift. Repairs to incorporate proper materials as needed to properly support the pipes is recommended to be conducted by a licensed plumbing contractor.

- A flexible support, such as wire, should not be used to support plastic drain lines. Instead, use a notched " 1-by" wrapped with a rubber backing.

Soild hangers resist upward thrust and vibration, thereby providing a more secure support, while also helping quite drain

line. Wrap the pipe ends with insulation at each pipe support to further dampen vibration



**Concern(s) / Recommendation(s)** Water was ran through all drains in the home for an extended period of time to determine if functional drainage was occurring.  
No hindered drainage was present at the time of inspection unless otherwise noted in this report.  
Lived-in conditions can not be adequately replicated during an inspection and I have no control of future drainage conditions due to lived-in usage (solids being flushed down the system, etc.).

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

LMT - Portions of the drain and waste pipes were not visible due to ceiling coverings / walls , insulation, etc.. The inspection is limited to visual portions only, and any items not visible are excluded from this inspection. If these pipes are a concern, I recommend consulting a plumber for evaluation prior to the end of your inspection contingency period.

**Hose Bibs / Hookups:**

*Information:*

The spigots / hose bibs were inspected by testing their operation (if weather permitted), looking for leaks, their attachment to the home, presence of anti-siphon, etc.

*General:*

Number of exterior hose-bibs installed: (One)  
Hose-bib Style(s): Frost proof type  
Indoor Shut-off Installed

OK NI MM RR  
    Sample(s) operated, appeared serviceable.



**Concern(s) / Recommendation(s)** Recommend not leaving hoses attached during freezing weather as damage can occur .

I recommend shutting the water off to all exterior hose bibs, disconnecting hose(s) and draining the lines before winter to prevent water in the pipes from freezing and bursting the pipes



The temperature pressure relief valve at the upper portion of the water heater is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

**Water Heater:**

*Information:*

The water heater/ storage tanks were inspected for operation. Looking for leaks, corrosion, damage, improper installation, TPR valve and drip pan installation and safety items needing addressed.

*Location:*

Location: Kitchen, Closet.



OK NI MM RR



*Age/Capacity:*

Capacity: 50 Gallons,  
Serial # 0834T415338  
Estimated Age: 2008( 17 years old ), Based on the serial number of the unit.

PAST or NEARING END OF DESIGNED LIFE

Water heater is past or nearing the end of the typical lifespan of eight to twelve years. Normal signs of wear and tear were present and although functioning as intended at the time of the inspection, it is unable to be determined when the water heater will fail. Recommend monitoring it's effectiveness and replacing when needed.

The typical life expectancy of a water heater is approximately 8 to 12 years



Drain Valve:

OK NI MM RR

Yes - There is a drain valve installed on the lower side of the water heater.



Condition:

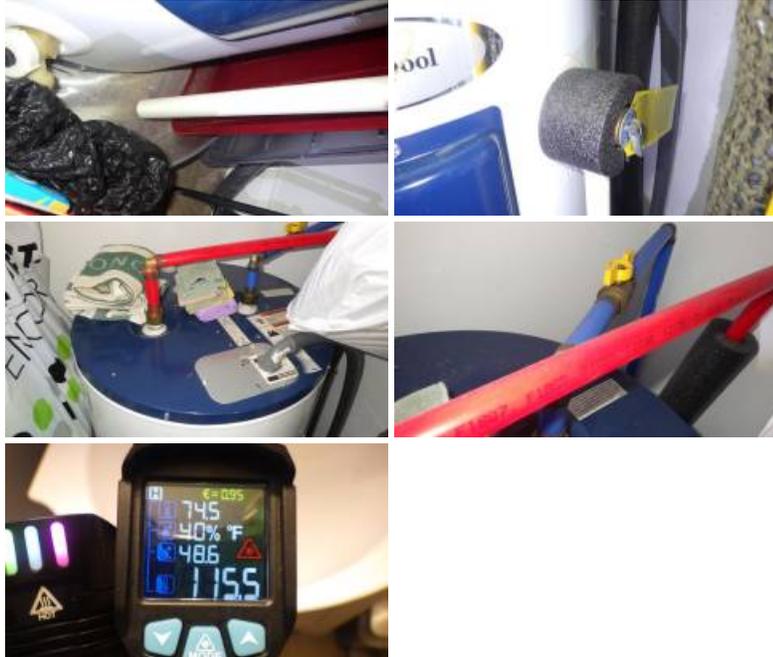
Operational at the time of the inspection  
 A water shutoff valve is installed  
 Pressure relief valve noted, not tested,  
 There is a Leak Pan Installed under the water heater,  
 Water Temperature: 110-120 Degrees.

NO EXPANSION TANK 2012

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install. Even if not required, these are a good investment to prevent potential problems.

Water Scalding Chart	
Set water heater to 120 degrees or less for safety!	
TEMPERATURE	TIME TO PRODUCE SERIOUS BURN
120 degrees (hot)	More than 5 minutes
130 degrees	About 30 seconds
140 degrees	Less than 5 seconds
150 degrees	About 1 1/2 seconds
160 degrees (very hot)	About 1/2 second





Water Heater Insulation Jacket:

OK NI MM RR  
    No

-No Blanket wrap installed

- Recommended - An insulation blanket wrap for the water heater is suggested. Up to 50% of the energy for the water heater is used to replace standby losses, of which 10 - 25% are at the tank.

Concern(s) / Recommendation(s)

Maintenance- the simplest and easiest maintenance item is draining the water heater to flush out sediment accumulation at the bottom every two years, sooner per the manufacturer instructions , or if you have alot of sediment in the water

With a two-element water heater, the lower element and thermostat will cycle more frequently than the upper element and thermostat. For this reason, the lower element will normally accumulate lime faster and fail more often than the upper element. Lower elements will fail more often than upper elements.

Prevention:

1. Inspect and clean the heating elements.
2. install a water softener.
3. Installed elements that are more resistant to lime (mineral) build-up.

## Sump Pump:

Information:

Sump Pump Info

Sump pumps are designed to divert water away from the foundation.

Set the pump to discharge water when the water level is at the bottom of the drain tiles entering the sump.

- Test the pump regularly to ensure that it is operating properly when energized, that the float moves freely, and that there are no obstructions in the drain line.
- If the system has a battery backup, test the battery regularly.



Type / Condition:

OK NI MM RR

Sump pump installed  
 Battery backup installed

Check Valve Present? ( yes)

GFCI protected outlet/ circuit installed? ( YES) - Good

- Recommended Maintenance: Sump pumps should be inspected annually, and the basin should be cleaned out to prevent clogs and ensure the pump is working properly

A high water level alarm is recommended at the basement sump pump



Sump Pump Drain Line:

The drainage line from the sump pump is installed in such a manner that water appears to be carried far enough away from the structure to prevent reintroduction.

Concern(s) / Recommendation(s)

I recommend inquiring with the seller(s) about its purpose. Sump pumps may be installed as a pre-emptive measure or may be needed to remove water from an area. The importance of this system is impossible to determine during a one-time inspection. Sump pumps always require maintenance. If it is determined that the pump is critical to maintain a dry basement or crawl space, I recommend installing backup power systems so the pump will work in a power outage.

**Septic System:***Information:*

The home had a private onsite wastewater sewage treatment (septic) system that typically consists of a tank, leach field, and related components. Inspection of this system lies beyond the scope of the general home inspection and the inspector did not inspect it. These systems can be extremely expensive to replace, and the inspector recommends that before the expiration of your inspection objection deadline, you have the system inspected by a qualified contractor.

*Septic Tank Location:*

Septic tank location- Rear of house.

*Drain Field Location:*

Front yard.

*System Condition:*

Private Septic System - A private system is installed on the property.  
Septic tank and drainage fields are not covered under the scope of this inspection

*Sewer Scope:*

Not preformed,  
Precision Home Inspections Plus offers a camera inspection of the main sewer line. Ask us for more details!

See Bathrooms section of report for information about plumbing and fixtures in those areas.

## KITCHEN - APPLIANCES 9.0

We may test kitchen appliances for basic functionality, but cannot evaluate them for their performance nor for the variety of their settings or cycles. Appliances older than ten years may exhibit decreased efficiency. Even if general comments are made, these items are not inspected: free-standing appliances, refrigerators, freezers, ice makers, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning and cooking capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards. These items should be considered outside the scope of the inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

### Other Built-ins:

*Microwave:*

OK NI MM RR

No mounted microwave was present in the kitchen. Only attached microwaves are inspected during our home inspection. Standalone microwaves are not moved to look at the condition of items below or around them.



### Kitchen Interior:

*Counters & Cabinets:*

The kitchen cabinetry and any other cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation

No reportable conditions were present at the time of inspection unless otherwise noted in this report.



*Sink:*

The kitchen sink was inspected by operating the faucet valves and faucet looking for any leaks or signs of significant deficiencies.

No reportable conditions were observed at the time of inspection



Sink Fixture:     Faucet is serviceable.



Sink Drain: The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing.

OK NI MM RR

No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Cooktop:     Type: Electric

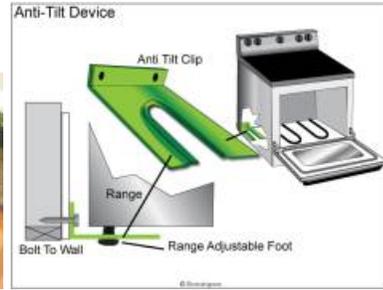
All of the heating elements on the range were turned to "High", and were functional at the time of inspection.



Oven:     The oven was operated by placing into "Bake" mode, and heat was produced from the element(s).  
- Temperature calibration, "clean" options, and other functions are not tested for.  
You are recommended to seek further evaluation if additional information is desired/needed.

RANGE / OVEN ANTI-TIP BRACKET NOT INSTALLED

The range could tip forward. An anti-tip bracket may not be installed. This is a potential safety hazard since the range can tip forward when weight is applied to the open door, such as when a small child climbs on it or if heavy objects are dropped on it. Anti-tip brackets have been sold with all free-standing ranges since 1985. Recommend installing an anti-tip bracket to eliminate this safety hazard.



*Ventilation:*

The kitchen exhaust fan was inspected by operating normal controls, checking for proper operation. The fan's type (reticulating or exterior) will also be reported on.

OK NI MM RR

EXHAUST SYSTEM NOT INSTALLED

No exhaust system present to prevent moisture, grease, and/or smoke from building up in kitchen area. Recommend qualified contractor install range hood or exhaust system.



*Refrigerator:*

Refrigerators are not included in a Home Inspection as they are considered transient, "unattached" items. They are also not moved to look at the condition of the floor under them, or the cabinetry around them. Therefore their water line and power receptacle are not visible and excluded from this inspection. If the refrigerator is a concern, I recommend having it evaluated by an appliance repair company or other qualified person prior to closing.



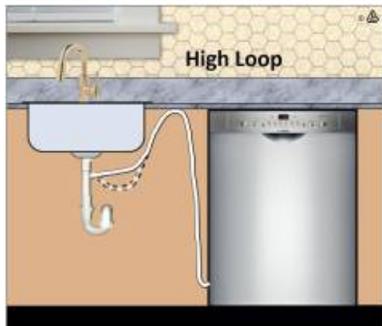
Dishwasher:

OK NI MM RR

The dishwasher was operated by running a wash cycle, and was functional at the time of inspection.

No leaks or water was present at the base of the unit at the completion of the cycle.

The dishwasher drain line is not secured in a high loop configuration. This is a potential safety hazard because waste water can backflow into the dishwasher, and can also siphon into the fresh water supply. Recommend attachment of drain line to underside of kitchen counter in a high loop to prevent backflow of drain water into dishwasher.



**Statement:** The built-in appliances of the home were inspected as a courtesy and reported on with the above information. The inspector recommends that all repairs or replacements be conducted by a qualified, licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

**General:** The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



	OK	NI	MM	RR	
<b>Walls:</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition at time of inspection.
<b>Ceilings:</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition.
<b>Floors:</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The Floor is in good condition in this room.
<b>Switches &amp; Fixtures:</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the room are in serviceable condition.
<b>Electrical Outlets:</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	GFCI protected outlets / circuit installed.



**Concern(s) / Recommendation(s)** Movement of appliances

Disclosure - Precision Home Inspections Plus does not move built-in appliances or any other appliances. It is beyond the scope and standards of practice of home inspections for inspectors to move, remove, pull out or inspect behind or under installed, built-in appliances. There may be concealed defects and damages in these areas that can go undetected during the course of a normal visual inspection. Built-in appliance inspection is limited

## BATHROOMS 10.0

In accordance with industry standards of practice, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

Our inspection of interior areas includes the visually accessible areas of walls, floors, cabinets and closets, and a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies.

### Master Bath:

#### *General:*

The following photos document the general condition of the referenced room. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



#### *Sink & Drain:*

The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc

The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

OK NI MM RR

- No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Toilet:

- | OK                                  | NI                       | MM                                  | RR                       |   |
|-------------------------------------|--------------------------|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | The toilets were inspected by flushing them to ensure they were flushing adequately and to determine leaks were present at the water supply line or tank location.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases leaving a one inch gap to allow for visual of a leak per standard building practices.<br>- Recommend caulking around toilet base leaving a gap of about an inch to 1 1/2 inches to allow for visual when leakage is occurring |



*Tub Fixtures:*

- The jetted tub was inspected by filling the tub with water to a level above the jets, and then initiating the motor to check that the motor was functional. The tub was then drained to check for leaks and/or damage or cracking in the tub.  
No significant deficiencies or leaks were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

OK NI MM RR

Jetted Tub - NO access panel present  
No motor / plumbing access panel was noted for the jetted tub. an access panel is recommended for future servicing of the motor as well as electrical and plumbing components.



*Tub And Walls:*

- The jetted tub in the bath was filled and tested during inspection
- Caulk and seal all tub and shower areas as a precaution.



*Tub/Shower Fixtures:*

- Showers Information

The shower(s) were inspected by operating the water valve(s) and ensuring proper flow and drainage was present, looking for leaks, and/or any significant defects.

- Sealant maintenance is recommended around tubs, showers and sink fixtures to prevent moisture intrusion



*Tub/Shower And Walls:*

OK NI MM RR

Shower walls appear serviceable

- Keep walls / seams / joints caulked and sealed to prevent moisture damage - Caulk and seal all tub and shower areas as a precaution.

*Caulking/Water Contact Area*

Water intrusion from bathtubs and shower enclosures is a common cause of damage behind walls, sub floors, and ceilings below bathrooms. As such, periodic re-caulking and grouting of tub and shower areas is an ongoing maintenance task which should not be neglected.



*Bath Ventilation:*

The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months.

OK NI MM RR

The fan in this area is minimal as fan appears to have a weak draw. Humidity buildup can lead to mold or other damage over time. Recommend repairing or installing an exhaust fan that exhausts directly to the exterior of the home.



- Doors:*     Door was functional at the time of inspection.
- Walls:*     Appears to be in good condition.
- Ceilings:*     Appears to be in good condition.
- Floors:*     The Floor is in good condition in this room.
- Switches & Fixtures:*     The vanity light is, Functional at the time of the inspection



*Electrical Outlets:*     GFCI outlets were present in the bathroom and operated when tested.

*Concern(s) / Recommendation(s)* Shower pans are not tested for leaks as this would be a technically exhaustive test. The only way to test shower pans for leaks is to block off the drain and fill the shower pan with 1-2" of water, looking for leaks on drywall or framing below, which would cause damage to the home. Therefore the shower is operated as normal and the areas under the bathroom are examined for indications of leaks. These pans are known to leak and can potentially be a major expense to correct. A licensed plumber should be consulted if more invasive testing is desired.

**Bathroom #2:**

*General:*

The following photos document the general condition of the referenced room. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



*Sink & Drain:*

The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc

The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

OK NI MM RR  
    UNDER-SINK PLUMBING - SLIP JOINT LEAK

A leak was present under the referenced sink at the slip joint location. A slip joint is a type of joint used in under-sink plumbing to connect pipes and fittings. It consists of a connecting nut and a gasket (often made of rubber or neoprene) that are placed between the end of one pipe and the fitting. This is very common and considered to be an "easy" fix. Repairs to the joint is recommended to be performed by licensed plumber to rectify any leakage.

A flex drain pipe was present. Flex drain pipes are not recommended as they may clog more often and affect water drain flow. Current standards call for smooth walled drain pipes only. Replacement of the flex pipe(s) is recommended to be conducted by a licensed plumber.



*Toilet:*

OK NI MM RR

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine leaks were present at the water supply line or tank location.

Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases leaving a one inch gap to allow for visual of a leak per standard building practices.

- Recommend caulking around toilet base leaving a gap of about an inch to 1 1/2 inches to allow for visual when leakage is occurring



*Tub Fixtures:*

All tub/ shower components appeared to be in serviceable condition at the time of the inspection.

Inspection of the shower typically includes evaluation of functional flow, functional drainage, proper operation of shut-off, diverter valves and faucet; and moisture intrusion of walls and pan.

- Tub And Walls:*                        Enclosure appears serviceable.
- OK   NI   MM   RR
- Caulking/Water Contact Area*       Water intrusion from bathtubs and shower enclosures is a common cause of damage behind walls, sub floors, and ceilings below bathrooms. As such, periodic re-caulking and grouting of tub and shower areas is an ongoing maintenance task which should not be neglected.



*Bath Ventilation:*                    The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months.

- No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.  
- System appears to correctly vent to the exterior of the home.



- Doors:*                                        Door was functional at the time of inspection.
- Walls:*                                        Appears to be in good condition.
- Ceilings:*                                    Appears to be in good condition.
- Floors:*                                        The Floor is in good condition in this room.
- Switches & Fixtures:*                    The vanity light is, Functional at the time of the inspection



- Electrical Outlets:*                        GFCI outlets were present in the bathroom and operated when tested.



## INTERIOR ROOMS 11.0

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

### GENERAL COMMENTS:

A General Home Inspection is not designed to identify building code violations but may refer to them where safety concerns apply. You should consult with a qualified contractor to discuss the necessity, options, and costs for correction.

The home was occupied and access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

An home inspection is not equal to extended day-to-day exposure and will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection

#### About Conveyance

Some appliances may not "convey" or be included with the home. This should be spelled out in your contract. Typically appliances that are permanently installed and directly wired to the electrical or plumbing system may be considered as "fixtures". Your home inspector doesn't determine what should be included with the sale of the home. If you are not certain about what is include or "conveys" check the contract or ask your agent.

Ranges, Dish Washers, and Refrigerators, Microwaves (and the like) are typically tested for basic function (Do they turn on). No assertions are made as to how well they function. Clothes washers/dryers are typically not operated.

An occupied house such as this one will typically have furniture, storage and other items that will partially block areas from inspection. Closets are usually packed with items which can completely block access and/or inspection. It is recommended that you inspect these areas at the walk through before your closing. Report any adverse findings to your representative prior to closing.

**Living Room:**

*General:*

The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



- |                            | OK                                  | NI                       | MM                       | RR                       |  |
|----------------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--|
| <i>Windows:</i>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Windows are functional at time of inspection   |
| <i>Walls:</i>              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Appears to be in good condition at time of inspection.   |
| <i>Ceilings:</i>           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Appears to be in good condition.   |
| <i>Floors:</i>             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The Floor is in good condition in this room.   |
| <i>Electrical Outlets:</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the room are in serviceable condition. |
| <br><i>Ceiling Fans:</i>   | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Ceiling fan installed  |

**Master Bedroom:**

*General:*

Bedrooms are determined by starting with the Master or Bedroom #1, after walking out of the master bedroom, bedroom 2 will be the first bedroom you come to, bedroom 3 the next, and so on.

The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



- |                            |                                     |                          |                          |                          |  |
|----------------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--|
| <i>Doors:</i>              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Door was functional at the time of inspection.         |
| <i>Windows:</i>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Windows are functional at time of inspection           |
| <i>Walls:</i>              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Appears to be in good condition at time of inspection. |
| <i>Ceilings:</i>           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Appears to be in good condition.                       |
| <i>Floors:</i>             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The Floor is in good condition in this room.           |
| <i>Electrical Outlets:</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Correct Polarity noted                                 |

Ceiling Fans:

Ceiling fan installed



Smoke / Fire Detector:

OK NI MM RR  
    Smoke Detector Present



**Bedroom #2:**

General:

The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Doors:

Door was functional at the time of inspection.

Windows:

Windows are functional at time of inspection

Walls:

Appears to be in good condition at time of inspection.

Ceilings:

Appears to be in good condition.

Floors:

The Floor is in good condition in this room.

Electrical Outlets:

Correct Polarity noted

Ceiling Fans:

Ceiling fan installed



Smoke / Fire Detector:

Smoke Detector Present

**Bedroom #3:**

*General:*

The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



*Doors:*

OK	NI	MM	RR	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Door was functional at the time of inspection.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	INTERIOR DOORS - HINGE PINS LOOSE

Loose door hinge pins should be better secured.



*Windows:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows are functional at time of inspection
-------------------------------------	--------------------------	--------------------------	--------------------------	--

*Walls:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition at time of inspection.
-------------------------------------	--------------------------	--------------------------	--------------------------	--

*Ceilings:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition.
-------------------------------------	--------------------------	--------------------------	--------------------------	----------------------------------

*Floors:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The Floor is in good condition in this room.
-------------------------------------	--------------------------	--------------------------	--------------------------	--

*Electrical Outlets:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Correct Polarity noted
-------------------------------------	--------------------------	--------------------------	--------------------------	------------------------

*Ceiling Fans:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ceiling fan installed
-------------------------------------	--------------------------	--------------------------	--------------------------	-----------------------



*Smoke / Fire Detector:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Smoke Detector Present
-------------------------------------	--------------------------	--------------------------	--------------------------	------------------------



**Second Floor:**

*General:*

The following photos document the general condition of the referenced room. These photos reflect areas that may have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



*Windows:*

OK	NI	MM	RR	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows are functional at time of inspection
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition at time of inspection.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Appears to be in good condition. Nail pops noted - Cosmetic Imperfections - rarely a major issue

*Walls:*

*Ceilings:*



*Electrical Outlets:*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Painted over outlet(s) noted- recommend replacing
--------------------------	--------------------------	-------------------------------------	--------------------------	---



*Ceiling Fans:*

*Smoke / Fire Detector:*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ceiling fan(s) installed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



**General:**

*General*

There are some deferred maintenance and cosmetic defects in the home---- Both inside and outside. No attempt is made to identify all these issues but will be mentioned in relation to more serious concerns throughout the report,

There are many things that can be done to improve the safety and living conditions within any home. While many of these issues come to light during the course of a standard home inspection there are likely other things that can be done to improve the home

Additional information can be found by searching / Center for Healthy Living.

**Doors:**

*Overall Interior Door Condition:*      OK   NI   MM   RR  
               A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.  
( See individual room section for details)

**Windows:**

*General Type & Condition:*                  The windows were inspected by operating a representative number (I will try and operate every window in the home, but personal belongings may block accessibility to some). Their operation was tested, along with looking for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.  
( See individual room section / Exterior section for details)

**Walls:**

*General Material & Condition:*                  Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.  
( See individual room section for details)

**Ceilings:**

*General Type & Condition:*                  The ceilings throughout the home were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.  
( See individual room section for details)

**Floors:**

*General:*                  Visible portions of the floors throughout the home were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.  
( See individual room section for details)

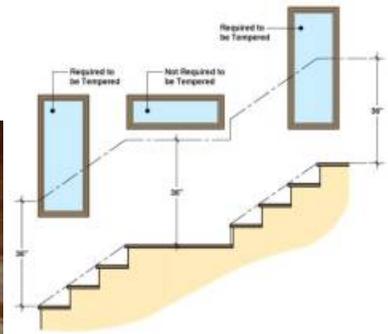
**Stairs & Handrails:**

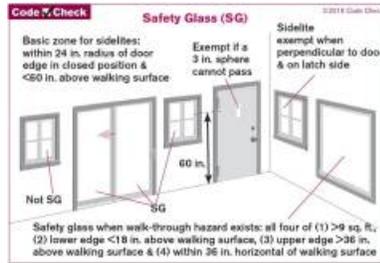
*Condition:*      Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc.

- Stair handrail serviceable
- OK NI MM RR
- TEMPERED / SAFETY GLASS NOT INSTALLED

Windows adjacent to stairs and ramps, Windows above bathtub

Windows are present that do not have tempered glass or safety glazing. According to current industry standards, tempered / safety glass is required for windows in specific hazardous locations. Most windows that are tempered are etched with identifying markings. If these markings are not present, the window is likely not tempered, which presents a potential safety hazard. We have identified the windows of concern in the photographs and the location descriptions. Consult with a window company to make any desired repairs or upgrades deemed necessary.





*Concern(s) / Recommendation(s)* - Care should be exercised on stairways as more injuries occur on stairways than other parts of the home. Even a slight variation between steps can lead to a fall and serious injury or even death. Handrails should be present at every stairway with 4 or more risers and may be desirable on shorter stairways. Handrails should be sturdy, graspable and carefully maintained as they may be used to prevent a fall.

**Smoke / Fire Detector:**

*Comments:*

- OK NI MM RR

The Consumer Product Safety Commission recommends all smoke and carbon dioxide detectors be replaced every 10 years. Even if the home is new or the detectors have been replaced in the last 10 years, replacement will always be recommended, especially with a previously occupied home. It is recommended that smoke alarms be installed in every living space, and within 10 feet of living spaces to include living rooms, bedrooms, and hallways. General rule of thumb is you can never have too many

**Smoke Alarm Locations:**

The minimum requirement of a smoke alarm in each bedroom and in the hallway near the bedrooms is widely known. What constitutes "near" the bedrooms is open to interpretation. The Word "near" has seen distances ranging between 10 and 40 feet. Bedrooms located in different parts of a home should have a smoke alarm in the hallway near each bedroom area. A smoke alarm should be installed not less than three feet horizontally from the door of a bathroom containing a tub or a shower. Anyone singing in the shower needs to hear the alarm, too. At least one smoke alarm is required on each story, including basements and habitable attics, but not including crawl spaces and uninhabitable attics. In fact, smoke alarms and carbon monoxide alarms shouldn't be installed in crawl spaces and attics because the alarms don't function properly in these dirty and unconditioned environments

- SMOKE DETECTOR(S) - DISCOLORED

There were smoke detector(s) present that were "yellowed" in color. This is typically an indicator that the detector(s) are past 10 years of age. Multiple sources recommend replacing smoke detectors every five to ten years.



*Locations Noted:*

Location(s): Bedrooms, Outside Bedrooms, Hallway, Second floor.

**Carbon Monoxide Detector:**

*Comments:*

OK NI MM RR

The Consumer Product Safety Commission recommends all smoke and carbon dioxide detectors be replaced every 10 years. Even if the home is new or the detectors have been replaced in the last 10 years, replacement will always be recommended, especially with a previously occupied home. Carbon dioxide detectors should be installed in dwelling units which have fuel-fired appliances and/or have an attached garage. They must be located in the immediate vicinity of the bedrooms; in areas of the dwelling that are adjacent to an attached garage; and in areas adjacent to a fuel-burning appliance.

**Security System**

*Limitations:*

A Security system is installed in this home. The inspection of the security system including the determination of the functionality, is beyond the scope of a home inspection. The home owner should be asked for more information concerning the system interface, operation and passwords / codes that maybe needed. Ensure any paperwork needed and the installer phone numbers are available and if needed a specialist should be consulted for a complete system evaluation.

**Water Quality:**

*Observations:*

If any Water Quality issues, as far as odors or discolored water, are noticed in the home at the time of the inspection I will include them in this section with any recommendation made as needed.

If no additional information is included in this report in respect to water quality issues, then no discernible odors or discolored water were present or noticed from the water in the home at the time of the inspection - Testing of the water quality is recommended regardless of installed treatment tanks or filters installed in the home

NOTE: The buyer is encouraged to have water quality or portability testing performed - if on a private well / private-shared well system

**Odors Present:**

*Observations:*

If any odors are noticed in the home at the time of the inspection I will include them in this section with any recommendation made as needed.

If no additional information is included in this report in respect to odors , then no discernible odors were present or noticed in the home at the time of the inspection

**Mold / Microbe / Mildew:**

*Observations:*

In accordance with our Standards of Practice used reporting on the presence of mold is excluded from a home inspection. If I see obvious signs of fungal growth , I will recommend further evaluation as a courtesy , but these individual references should not be construed as an all - inclusive list , furthermore , the removal of personal belongings or any remodeling / repairs that may take place in the future may reveal fungal growth or mold that was not visible at the time of the inspection , or not commended on. If mold is a concern , you are advised to have a full environmental inspection prior to the end of your inspection contingency period

*Concern(s) / Recommendation(s)* Visual Mold Assessment

EXCL - The client did not elect to have these inspections or tests performed. Therefore any and all concerns, defects, or hazards related to these additional services are EXCLUDED from this inspection.

**Pest / Insect / Wildlife Concerns:**

*Observations:*

Inspecting for, and reporting on the presence of WDI activity (wood destroying organisms) including but not limited to; termites, powder post beetles, carpenter ants, carpenter bees, etc. is beyond the scope of a home inspection, is excluded by our Standards of Practice, and is excluded from this inspection. It is highly recommended that you have a WDI-Termite inspection prior to the end of your inspection contingency period. Any comments made in this report in regards to any such activity was done as a courtesy only, should not be viewed as an all-inclusive listing of activity, and requires further evaluation by a licensed pest control company.



*Conducive Conditions:*

OK NI MM RR

Wood and wood products against the exterior of the home such as landscaping timbers , old post , etc should be removed as these items can promote insect and pest infestation in and around the structure



*Concern(s) / Recommendation(s)* - Additionally you should have annual inspections for the presence of wood damaging organisms.

**Radon Mitigation**

*Observations*

Testing not preformed

Precision Home Inspections Plus offers Radon Testing Service . Ask us for more details!

*Radon Snap-shot*

OK NI MM RR  
    **Radon Snapshot**

A short term radon sample was measured during the home inspection. This is not an official 48-hour test but just a measure of the level at the time of the inspection. Radon levels can increase or decrease hour by hour and day by day, so a longer test period is needed to be more certain of the average radon level in this home. This RADON SNAPSHOT™ measured at **5.05 pCi/L**, was below the EPA recommended limit of 4.0 pCi/l. The EPA recommends that an official 48+ hour test be done on every home to determine if the average daily level is above their recommended limit.



*Concern(s) / Recommendation(s)* All homes should be tested regardless of geographic location or foundation type. Radon, a Class-A human carcinogen, is the leading cause of lung cancer in nonsmokers and the second leading cause overall

Properly installed radon control systems will permanently reduce radon concentrations by up to 99%. Because most systems prevent soil air from entering the house, you may also notice other air quality improvement - like lower humidity.

Radon control systems will not decrease the homes appraisal value; in fact, they are nationally accepted as a home improvement. Installations need little maintenance and operating costs are typically less than \$10/month.

Radon systems are so effective at maintaining low radon concentrations and eliminating diurnal and seasonal fluctuations, living in a mitigated home reduces the occupants risk of radon-induced lung cancer to ALARA (as low as is reasonably achievable) - even lower than living in many houses that test below the EPA 4 pCi/L Action Level without a radon system.

**Radon Testing**

EXCL - The client did not elect to have these inspections or tests performed. Therefore any and all concerns, defects, or hazards related to these additional services are EXCLUDED from this inspection.

**Health & Safety:***Observations:*

A home inspection main focus is safety and functionality and throughout this report you will find many safety ideas and suggestions that may or may not have been "code" at the time of construction of the home. As far as safety I list current best practices for most items with the understanding that all codes change and each and every item may not have been code or even covered by codes at the time of construction.

Any set of stairs that is 4 steps or more requires a graspable handrail. This is deemed a safety hazard. Recommend a qualified handyman install a graspable handrail.

## THERMAL IMAGING 12.0

An infrared camera may be used in specific areas or to confirm visual problems, this addition information and reporting information should not be viewed as a full thermal scan of the entire home. Additional services are available at additional fees and would be supplemented by an additional agreement / addendum. Temperature readings displayed on the report thermal images ( if any) in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative not quantitative. These values can vary +/- 4% or more of the displayed readings and these values will display surface temperatures when an air temperature survey would actually need to be conducted on some items which is beyond the scope of a home inspection.

### Thermal Imaging:

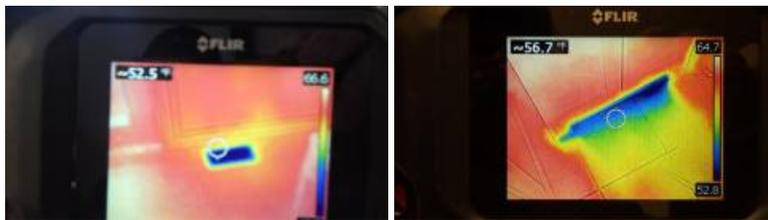
*Information:*

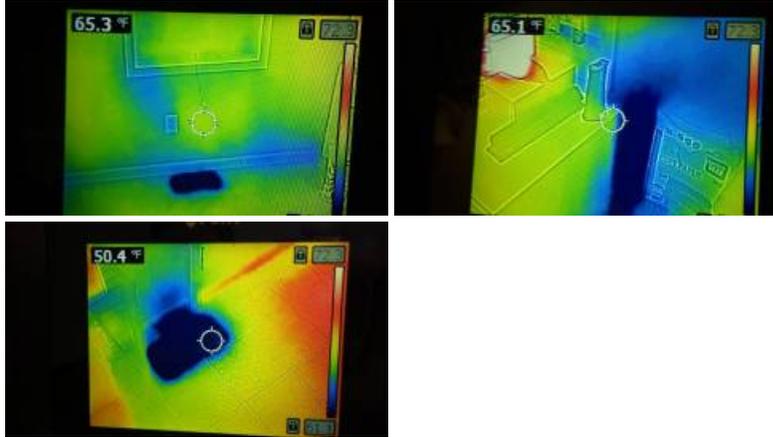
Limited Scan Completed:

An infrared camera may be used in specific areas or to confirm visual problems, this addition information and reporting information should not be viewed as a full thermal scan of the entire home. Additional services are available at additional fees and would be supplemented by an additional agreement / addendum. Temperature readings displayed on the report thermal images ( if any) in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative not quantitative. These values can vary +/- 4% or more of the displayed readings and these values will display surface temperatures when an air temperature survey would actually need to be conducted on some items which is beyond the scope of a home inspection.



*Concern(s) / Recommendation(s)* An infrared camera was used to show the system responded to normal operating controls, at the time of inspection. These images are not intended to show the exact temperature differential produced, the efficiency, or performance of the system, which lies beyond the scope of a home inspection. HVAC thermometers (wet bulb) are required for accurate readings, and measurement points would be carried out at a different location by an HVAC contractor. Typical temperature differentials between return and supply air is 10 - 20 degrees in cooling mode, and 15 - 25 degrees in heating mode. Several factors can affect these numbers, such as, but not limited to: indoor ambient air temperature, exterior ambient air temperature, humidity, cleanliness of the air filter and evaporator, etc.





## LAUNDRY AREA 13.0

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned. See Plumbing and Electrical pages for more details about those types of system components.

**Laundry:**

*Information:*

The inspection of the laundry area is limited to visual portions only, as the washer and/or dryer are not moved for accessibility. Washers and dryers are also not tested for functionality.

*Location:*

Location: Service area main floor.

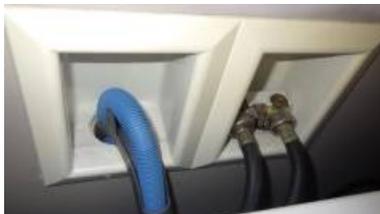


*Hose Bibs / Hookups/Sink Faucets:*

The washing machine water supply valves and visual portions of the drain (standpipe) were visually examined for leaks from the valves or other deficiencies, but were not operated or tested for functionality or leaks due to the washer hoses being connected (washing machines are not tested during a home inspection).

OK NI MM RR

There is a connection box installed in the wall with both hot and cold water and a drain pipe. The drain pipe was not flood tested. - water supply and correct plumbing not checked



*Laundry Ventilation:*

None- There is no exhaust fan or window in this laundry area. Current building standards require either an exhaust fan or window for ventilation. Consideration should be given to the installation of either.

*Clothes Washer:*

Operational at the time of the inspection  
    NO DRIP PAN FOR WASHING MACHINE

There was no drip pan or drainage installed for a laundry room washing machine on a finished floor of the home. Lack of a drip pan may allow a leaking clothes washer to damage home materials.



*Clothes Dryer:*

OK NI MM RR  
    Operational at the time of inspection.

*Dryer Vent:*

The dryer vent was inspected to ensure it terminated to the exterior of the home and that no damage was present at visible portions.

A dryer vent is provided, to the exterior.  
    SCREEN OVER DRYER VENT CAP

There is a screen/cover installed over the dryer vent termination on the exterior. According to current industry standards, dryer vents should discharge through vents equipped with a backdraft damper without a screen.



*Electrical Outlets:*

220 Service- Appears operational.

*Concern(s) / Recommendation(s)* LAUNDRY INFORMATION

Washer and dryers are not tested at the time of inspection as this is beyond the scope of a home inspection. The 220v electric dryer hookup, if so equipped is not tested during a normal home inspection. If washer and dryers are installed in the laundry room viewing of the wall and/or inspect the washer and dryer hookups cannot be completed due to the washer and dryer blocking the wall and hookups. No claims can be made regarding the condition of the wall and hookups.

It is highly recommended to have the duct cleaned prior to using the dryer as this maintenance is rarely performed by homeowners. Lint build-up or a blockage in the duct is a common cause of home fires annually.

## GARAGE - CARPORT 14.0

Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is not uncommon for moisture to penetrate garages, particularly with slabs on-grade construction, and this may be apparent in the form of efflorescence or salt crystal formations on the concrete. You may want to have any living space above the garage evaluated further by a structural engineer, as it may be seismically vulnerable.

### Outbuildings

#### *Outbuildings*

Out buildings are not considered to be part of a general home inspection, however as a courtesy, some general notes / pictures may have been taken.

This structure may have also contained detached patios, stairs, decks, retaining walls, outbuildings, fireplaces, koi ponds or water features, pools and/or spas, related electrical equipment, etc. Any of these items and components present that were not directly and permanently attached to the main structure are also excluded. If any comments are made about any of these items, these comments should be viewed as a courtesy only and not be construed as an all-inclusive listing of deficiencies. If any detached structures and/or items are of concern, an evaluation of these items should be conducted by qualified individuals before the end of your inspection contingency period.

ELECTRICAL OBSERVATIONS- Building is not properly wired and relying on an extension cord for power, if electrical service is needed then properly wiring of the building and supply is recommended

gutter improvements needed.





## POOL/SPA & EQUIPMENT

Inspection was limited to those areas which are above ground or water level. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time. Purchasers are encouraged to ask sellers about the existence of any past or present leaks in the pool, spa or associated equipment. Pool filtering devices are not disassembled to determine the condition of any installed filter elements. Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection. Testing of backflush mechanisms is beyond the scope of this inspection. Pilot lights on LP gas pool heaters are not lit during the inspection.

### General Comments:

This inspection specifically excludes deficiencies that are normally remedied during routine maintenance and which generally do not interfere with the functionality, safety or presentation of the pool system. The inspector is not expected to come into contact with pool water, to disassemble or assemble components, or to inspect inaccessible or concealed features during this examination. The inspection does not evaluate equipment calibrations or programming.

This pool inspection does not determine the structural integrity or identify leakage of any non-visible portions of the pool, including underground plumbing. Below ground pools may have inherent defects which are not visible during the inspection. The only way to thoroughly examine the pool shell and its underground piping may be to drain the pool and/or perform a pressure test or leak detection service. Should you desire a more thorough inspection of the pool, please discuss this prior to the start of this service to determine the additional costs and benefits of such a procedure.

I assume no liability for the cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, liability is limited to liquidated damages in an amount not greater than the fee you paid. Client waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home or pool. Client acknowledges that this liquidated damages is not a penalty, but that it is intended to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the inspection for the agreed-upon fee.

The inspection is not intended to determine compliance with installation guidelines, manufacturer specifications or building code compliance, though parts of the pool inspection may rely on the current PHTA/APSP/ANSI-5 Standard for Residential Inground Swimming Pools. The pool inspection and report are not a substitute disclosure for real estate transactions that may be required by law.



### General Maintenance Recommendations

A healthy pool/spa requires consistent maintenance. Consider doing the following to ensure a healthy pool or higher a pool company to maintain your pool for you.

Check the water level once a week.

Check the pH twice a week.

Check hardness, TDS, and total alkalinity once a month.

Test for metals once every six months.

Check the skimmer basket twice a week.

Check the pump strainer pot once a week.

Look for leaks every day.

Vacuum the pool/spa once or twice a week.

Brush the pool/spa walls and bottom once a week.

Clean the waterline once a week.

Clean the solar panels once a month.

Empty and clean the filter every three months.

Winterize once a year.

Homeowners are often surprised to find that it can be dangerous to drain a pool. The reason is due to the high ground water level, which could be only a few feet below the surface of the land. If a pool were drained, it could very likely become a boat, rising up to float on the ground water. That could cause major damage to both the pool and the house. The proper way to drain a pool in such areas is to install a well-point and use a supplementary pump to take the water out of the ground prior to draining the pool, and during the drained time interval. Only upon re-filling of the pool could the supplementary pump be turned off. Draining a pool for any reason other than major cleaning or repairs is not recommended in areas with high water table.

Adequate storage space was provided for equipment? ( yes )



**LIMITATIONS:**

*Limitations:*

**Limitations:**

In most cases, unless otherwise noted, our Inspection does not include an interview of the current owner and or pool service contractor. Such information is very helpful in knowing the full condition and history of the pool. Information such as, but not limited to, known concerns, latent or dormant defects, maintenance and or repair history may help to better understand the true condition of the pool and its systems.

Inspection is limited to visible components and systems only. Pool is inspected in state found at time of inspection. Systems, settings components are not changed or altered from position found. Underground drains, electrical, piping, etc. are beyond scope of

this inspection

Our pool inspection is limited to the conditions and systems visible and exposed. Confirming compliance of the pool, fence, equipment and or other systems with the local authorities, insurance regulations and manufacturers specification is beyond the scope of this Report. If client desires such information we recommend contacting the appropriate regulatory department(s).

Heaters are operated to insure firing of system only - Limited Inspection. Extended operation or monitoring for adequacy to heat pool/hot tub is beyond the scope of this Inspection. Based on this limited Inspection client may consider further evaluation by a qualified specialist to determine output and or adequacy.

Limited review of pool shell and or below water components, such as drain, due to cloudy water conditions at time of inspection. Additional evaluation suggested upon clearing of water. Outbuildings, cabanas, entertainment features and or outdoor living space type, environments and or systems/components are outside the scope of this inspection and require further evaluation.

**Pool Surface:**

Condition:

- |                                     |                          |                                     |                          |  |
|-------------------------------------|--------------------------|-------------------------------------|--------------------------|--|
| OK                                  | NI                       | MM                                  | RR                       |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | Fair overall condition.  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The pool has debris present along the surface and bottom, indicating that cleaning and maintenance are needed. Accumulated leaves and sediment may affect water quality if not addressed. Professional cleaning and rebalancing of the water chemistry are recommended to restore optimal swimming conditions. |



**Skimmer & Basket:**

Condition:

- |                                     |                          |                          |                          |       |
|-------------------------------------|--------------------------|--------------------------|--------------------------|-------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Good. |
|-------------------------------------|--------------------------|--------------------------|--------------------------|-------|



**Hand Railings:**

Condition:

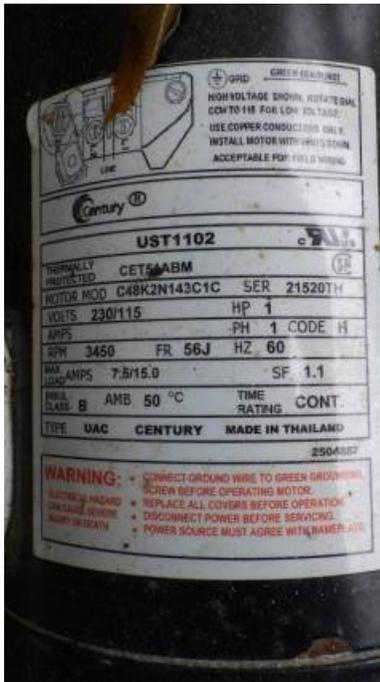
- |                                     |                          |                          |                          |                    |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Good.<br>(secured) |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------|

some rusting noted on ladder.



**Pumping Equipment:**

Pump Motor Manufacture Date: Manufacturer label picture.



Pump & Motor:

OK NI MM RR  
    Condition: Fair- motor is aged.



*Water Level:*

The water level in the pool appears to be within the recommended range, with the surface sitting at approximately the midpoint of the skimmer opening. This allows for proper skimming and circulation. No signs of overfilling or excessive loss were observed at the time of inspection.

*Evidence of Water Leakage:*

None noted.

*Hair/Lint Filter:*

OK NI MM RR  
    Filter type: Sand



*Drain:*

Dual drain system installed.



**Visible Plumbing Line:**

*Condition:*

Good.  
    SAND FILTER MEDIA AGE UNKNOWN

The age and condition of the sand media is unknown and requires periodic replacement. Inquire about receipts when last replaced. Have replaced as needed.

VALVES AND FLOW IS NOT LABELED

All valves and pipes should be identified and labeled for function and direction of flow.

PVC PIPING SHOULD BE PAINTED.

PVC can be damaged by sunlight and should be painted or coated for UV protection.



**Electric Controls:**

Subpanels:

- |                                     |                          |                          |                          |  |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--|
| OK                                  | NI                       | MM                       | RR                       |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A subpanel is provided- OK.<br>GFCI protected receptacle(s) installed. |



**Pool Decking:**

Type & Condition:

- |                                     |                          |                                     |                          |   |
|-------------------------------------|--------------------------|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | concrete.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Minor settlement cracks are noted at several locations.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | -Depth markings not noted at pool edge areas. Recommend clear and proper marking for improved safety. |



*Child Protection Fencing:*

- 

Check with the local town Building Department as to fencing requirements with regard to the swimming pool.

- Door alarms should be installed to protect the pool area from entry by young children.

The gates should be repaired and equipped with hardware to make them self-closing and latching.



**Pool Enclosure Or Fencing:**

*Overall Condition:*

- OK NI MM RR

**NO SELF-CLOSING GATE (SAFETY)**

All pedestrian access gates should open outward away from the pool and should be self-closing and have a self-latching device. Where the release mechanism is located less than 54 inches from the bottom of the gate. A second release mechanism should be located on the poolside of the gate at least 3 inches below the top of the gate.

**DOOR ALARMS ARE NOT INSTALLED.**

All doors that lead to the pool area should be protected with door alarms and should be self latching. Recommend Having alarms installed.



**Spa/Hot Tub:**

*Information:*

- A basic functional test of the hot tub was done to check operation and to check for leaks, and to inspect the electrical service for any concerns. The system appears to be in working condition. This is a very limited visual inspection. A hot tub specialist should evaluate further, if concerns are noted.



*General:*

- OK NI MM RR  
    The hot tub was found to be operational and in serviceable condition.  
 Note to buyer - internal tub jets, components and water chemical levels were not inspected at the time of inspection.  
 Recommend a hot tub specialist service the hot tub to find out if any maintenance is needed.

Water temperature: 104 F.



*Surface:*

- Fiberglass- Good overall condition.

*Operation:*

- No problems observed during limited test run of equipment.

*Cover:*

- cover is older / damaged and in need to repairs / replacement



## CONCLUSION 15.0

### REPORT CONCLUSION and WALK-THROUGH

#### Maintenance Checklist:

##### *Maintenance*

#### Semi Annual Maintenance Check-List

Basement and Foundation - Check for cracks and moisture and discuss with a professional if either problem is severe.

Toilet - Check for leaks in water supply and tank bottom.

Interior - Caulking and Grout Inspect caulking and grout around tubs, showers, and sinks. If the caulking has pulled away, scrape it out and re-caulk or call someone who can.

Exterior - Caulking around window sills should be checked and redone if necessary. If the caulking has pulled away, scrape it out and re-caulk or call someone who can.

Roofing - Should be checked for missing and/or damaged shingles and replaced in a timely manner . Exposed nail heads should be covered with tar to prevent leakage

Water Heater - Drain water until clear of sediment; inspect flue assembly (gas heater); check for leaks and corrosion. If this activity is intimidating, plumbers can do this in less than an hour.

Clothes Washer - Clean water inlet filters; check hoses and replace if leaking.

Clothes Dryer - Vacuum lint from ducts and surrounding areas.

Refrigerator - Clean drain hole and pan (more often in warm weather); wash door gasket; vacuum condenser coils.

Wiring - Check for frayed cords and wires; check exposed wiring in basements, and call an electrician is if looks shoddy or dangerous.

Exhaust Fans - Clean grill and fan blades.

Range Hood Fan - Wash fan blades and housing.

Sink - Check all faucets, hose bibs, and supply valves for leakage.

Bathroom - Check for evidence of leaks around and under sinks, showers, toilets, and tubs.

Breaker Box - Trip circuit breakers and ground fault interrupters monthly to insure proper protection.

#### Conclusion:

##### *Conclusion*

The General Home Inspection is based on the Standards of Practice (SOPs) followed by the Inspector. The SOPs are minimum guidelines that determine what an inspector must and need not inspect and report on. The Inspector is free to exceed these guidelines at his discretion, however, comments on systems, components, or conditions that exceed the scope of the General Home Inspection are not meant to imply that the scope of the inspection is expanded to include all systems, components, or conditions, the inspection of which lies beyond the scope of the General Home Inspection. Additional defects that lie beyond the scope of the General Home Inspection may exist in the home and may not be identified by the Inspector.

I try to be very thorough and detailed. This is not to be overly picky! It is to not only

identify all visible issues but to show you maintenance items that you may want to consider improving over time. It also gives you reference points so that overtime you can see if and how the home might be changing. Good examples of these types of items are cracks, the condition of the roof, etc.

Therefore, every home inspection report has a lot of information in it. So, don't be surprised or get overwhelmed by this. It is normal and is intended to give you peace of mind by its thoroughness.

### **Limitations: Notice to Third Parties**

Notice to Third Parties: This report is the property of Precision Home Inspections Plus. The Client(s) and their Direct Real Estate Representative (if named herein) have been named as licensee(s) of this document. This document is non-transferrable, in whole or in part, to any and all third-parties, including; subsequent buyers, sellers, and listing agents. Copying and pasting deficiencies to prepare the repair request is permitted. THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN. This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.

### **Not Pass/fail**

A property does not "Pass" or "Fail" a General Home inspection. An inspection is designed to reflect the visual condition of the home at the time of the inspection. Please feel free to contact me with any questions about either the report or the property, soon after reading the report, or at any time in the future!

This report is designed to reduce your risk in purchasing a home, but it cannot eliminate all risk. We cannot guarantee nor warrant. There may be hidden damage or a component that will fail at any time in the future. If you are concerned with this possibility, consider purchasing a home warranty plan.

### **READ the REPORT!**

Please read your entire inspection report carefully. Although the report has a summary that lists the most important considerations, the body of the report also contains important information

### **Call Us First**

If you discover something you feel should have been disclosed in your inspection report, you must call us first before any repairs are completed. If you have repairs completed before we are allowed to evaluate the issue, then we will not compensate you for the repair.

The report is effectively a snapshot of the house - recording the conditions of the home on a given date and time.

Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that may manifest following the inspection.

For your safety and liability purposes, we recommend that only licensed contractors evaluate and repair any critical concerns and defects that appear in this report

### **Re-inspection Items**

As you continue through your home buying process, I am happy to assist with anything that pertains to your home inspection. If you negotiate to have repairs made prior to closing, and would like to verify that they were completed properly, please contact me to

come out and re-inspect those specific items.

#### **REPORT CONCLUSION and WALK-THROUGH**

**DO A FINAL WALKTHROUGH!** Because conditions can change very quickly, we recommend that you or your representative perform a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

It has been a pleasure to provide you with this property inspection and truly appreciate your business and patronage. We work hard to research your real estate investment and to report back to you in a professional manner. Our number one goal is to provide the best possible customer service and to answer all of your questions as thoroughly as possible. Remember that we have your best interest in mind throughout this process and we are happy to answer any questions you have about the home even after you move in. We are your building consultant for life.

Every home, no matter the age will have recommendations to make the quality of life you live within the home feel superior. Some of the recommendations made in this report quite possibly might not be a concern to you, and that is perfectly fine. Our goal is to atleast make you aware of these items and give you a punch list you can work on as you see fit.

#### **PRE-CLOSING WALK THROUGH:**

The walk-through prior to closing is a time for Client to inspect the property. Conditions may change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. Client should be thorough during the walk-through. Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing.

Sincerely,  
Thomas Wolfe, Owner  
Certified Master Inspector®  
Precision Home Inspections Plus.



#### **Questions:**

*Questions?*

#### **Report Conclusion**

Thank you for taking the time to read through your home inspection report!

If you have further questions or need clarifications pertaining to content within this report, or about your inspection in general, please contact me. My contact information is included with the report.

Also, if you have any feedback for improvement of this report's user interface, layout, content, etc., please let me know. I am always looking to improve the quality of my report and inspection services in general.

#### **Have Questions? We May Have Solutions!**

We understand you may have questions regarding your home inspection report. We want to make sure we answer all your questions so you are an informed homeowner.

**Inspection: 1552 Address: 2716 Peaks Mountain Road**

We highly encourage you to email, call, or text your inspector with any questions you may have prior to closing.

Don't worry, if you have questions after closing, we are still here to assist you. If an appliance is not functioning, you can't figure out how to start a pilot light, or something completely obscure like can I use an incandescent light bulb on a dimmer switch?, we are here to answer your questions.

[precisionhomeinspectionsplus@gmail.com](mailto:precisionhomeinspectionsplus@gmail.com)

**or call us ( 276) 266-1175 or (text) (276) 620-2140**

[www.InspectOurs.com](http://www.InspectOurs.com)

Dear Keith Plourd,

Items in this summary are marked M/M and are considered Monitoring / Maintenance or may need a more in-depth inspection by a qualified specialist. This summary is a preview of the components or conditions that need regular maintenance or that may need maintenance to ensure proper function , but it is not definitive. Items marked M/M can be considered home owner maintenance items that may need to be preformed on a annual or seasonal basics , These items will include items such as changing filters , changing out smoke alarm batteries and items you can do on your own as time allows or have a qualified person to complete them for you so you can enjoy your new home for years to come.

**MM = "Marginal/Maintenance"** = Item warrants attention or monitoring, or has a limited remaining useful life expectancy and may require replacement in the not too distant future. Further evaluation or servicing may be needed by a qualified licensed contractor or specialty tradesman dealing with that item or system.

## GENERAL INFORMATION 1.0

House Numbers:

*House Numbers:*

Numbers present on mail box / stand

- The numbers on the mailbox are Not clearly visible

## GROUNDS 2.0

Paving Conditions:

*Driveway:*

Recommend keeping the drain pipe clear and free of debris to provide good drainage

Grading:

*Site:*

Extend downspouts to divert water away from the house foundation.

There were downspouts present that were discharging within five feet of the foundation of the home.

Current standards require downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended to be conducted by a gutter contractor or other qualified person

Landscaping:

*Condition:*

There was vegetation in contact with, or in close proximity to the home in areas. Pruning or removal of any plants that are within 1-2 feet of the home is recommended to be conducted by a qualified person to eliminate pathways of wood destroying insects, and to allow moisture to adequately dry behind these areas after rainfall events.

A flower bed, mulch, rock landscaping or soil was observed to be in contact or close proximity to the home. This can lead to moisture intrusion of the home. Recommend ensuring a barrier is in place to prevent moisture damage against the home or removing or addressing this landscaping feature to reduce the probability of moisture intrusion on the home and its components.

## EXTERIOR - FOUNDATION 3.0

### Exterior Walls:

#### *Materials & Condition:*

Maintenance: Caulk around the A/C lines and any holes , gaps , or penetrations points to reduce the risk of moisture and pest intrusion.

### *Vinyl Siding Concerns & Condition:*

#### MAINTENANCE:

Vinyl and metal siding are extremely popular because they require less periodic maintenance than other types of siding materials. However, it is still necessary for the homeowner to periodically--at least once a year--carefully examine siding panels as well as ensure all J-channels around windows and doors are secure and drain properly. Vinyl and metal siding should be cleaned following the manufacturer's instructions

### DAMAGED VINYL SIDING

Area of cracked/ damaged siding observed. Repair/ seal/ Replacement is recommended to avoid moisture intrusion and further damage.

### *Flashing & Trim:*

FYI - It's recommended to evaluate the exterior of the home every few years to make sure that the sealant or caulking is up to par to eliminate water, air, insect and dust entry. Walking the exterior of the home once every few months looking for any areas that might need attention is recommend.

### Exterior Doors:

#### *Side Entry Door:*

Door closure allows Door to slam, recommend adjustments or replacement of closure to allow for proper operation.

### Front Porch:

#### *Stairs / Steps:*

NO GRASPABLE HANDRAIL

A graspable handrail is recommended where noted. In the event of a fall, handrails should be easy to grab to hopefully be able to catch yourself. Graspable handrails are generally rounded in shape. Other shapes may be difficult to grab and hold on to. This is considered a current safety concern.

### Rear Deck:

#### *Slab:*

Wood decks have a limited service life. Even the best maintained deck will need repair or eventual replacement. We suggest regular treatment with a combination wood preservative/UV inhibiting sealer.

*Stairs / Steps:*

Handrail in place is considered as a non-graspable handrail and is a safety hazard. Recommend having a qualified contractor add a graspable handrail to prevent injury.

**BASEMENT - CRAWLSPACE 4.0**

Crawlspace:

*Moisture:*

This home has a mechanically ventilated closed crawl space that uses dehumidification equipment for moisture control.

Please note that closed crawl space systems require seasonal inspection and annual maintenance, the buyer should consult the contractor for more information concerning the recommended maintenance schedule and associated warranties.

The best defense against water seepage is good drainage of soils near the foundation wall.

\*\*\*NOTE: It must be noted that any area below grade is susceptible to water seepage during certain weather conditions. It is not unusual for a basement that has remained dry for many years to develop a leak.

Maintaining proper grades around the foundation, and carrying roof water away from the structure are the best preventive measures that can be employed

( please refer to Grading- Lot drainage section of the report for more information)

*Beams/Underfloor:*

Termite shield installed? (No),

Termite shields are not present at the top of the piers and/or along sills at various locations at the time of the inspection. Termite shields help deter possible WDI intrusion to floor joist and/or beam material.

Insulation & Vapor Retarders:

*In Unfinished Areas:*

Recommend the area around the well saver tank / plumbing equipment be taped / sealed off.

**ROOF SYSTEM 5.0**

Roof:

*Roof Covering Condition:*

SNOW GUARDS - MISSING

( REAR SECTION)

Snow guards were not present on the metal roof panels. This can allow snow and ice to sheathe off the roof in the winter months, possibly damaging guttering and/or creating an injury to people walking below. The installation of snow guards is recommended to be conducted by a qualified roofing contractor.

**Screw Fastener Maintenance**

The metal panels are secured with screw fasteners. There are gaskets around the screw fasteners that will eventually become dry and will crack. This raises potential for leaks. The screws and gaskets will need to be monitored and maintained to discourage leaks.

A few loose screws noted and should be retightened or replaced to ensure weatherability.

NOTE: The roof cover materials should be inspected annually as part of a routine maintenance plan. - to include tightening of loose fasteners and renewing sealants/ caulking

Snow stops/ guards installed

Check sealant around snow guards ( if any) to ensure weatherability atleast annually

Flashings/ Penetrations:

*Flashings:*

NOTE: The roof flashing and boot flashing should be inspected annually as part of a routine maintenance plan

One or more rain collars on the plumbing vent stacks are buckled. This condition can allow for water to pond next to the pipe and eventually leak via capillary action into the roof structure. Recommend having a qualified roofing contractor repair so rain collars will shed water off and away from pipe.

*Penetrations:*

- Painting of the plumbing vent stacks with a UV protective paint is recommended to help prolong the service life of the plumbing vent pipe.

NOTE: The roof flashing and boot flashing should be inspected annually as part of a routine maintenance plan

Gutters & Downspouts:

*Type & Condition:*

Periodically check all joints for leaks and caulk where it is required.

All gutters should be pitched toward their downspouts and the leaders should terminate as far from the building as practical.

Gutters and rain leaders must remain free flowing at all times.

Extend downspouts to route rainwater away from the building.

Gutters are discharging water near the foundation.

There were downspouts present that were discharging within five feet of the foundation of the home. Current standards recommend downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended to be conducted by a gutter contractor or other qualified person

There is a low spot in the gutters that inhibits the proper drainage of water. Suggest it be corrected to allow proper flow of water to the downspout

Guttering holding water - recommend removing blockage for proper drainage of the Guttering system

## **ELECTRICAL SYSTEM 6.0**

### Electrical Distribution Panels:

#### *Main Panel Observations:*

Regular testing of GFCI's and AFCI's using the built-in test function is recommended

#### **BREAKER(S) - DOUBLE LUGGED**

SFTY - Double lugged breaker(s) were present in the panel. This is where two conductors (wires) are under the lug (screw) of a breaker. The breakers are only rated for one conductor, and the lug can not be torqued to proper specs with two wires present, which could cause overheating, arcing, or other deficiencies. Repairs are recommended to be performed here as deemed necessary by a licensed electrician.

One or more white, neutral wires were being used as a hot wire but appeared to not be marked as such. Recommend proper marking of any neutral wires being used as hot wires

#### **BREAKER(S) - POSSIBLE UNAPPROVED BREAKERS PRESENT**

The electrical panel was equipped with breaker(s) manufactured by a company other than the panel manufacturer. Some circuit breaker models from different manufacturers may be substituted for each other, but confirmation of what models are acceptable is beyond the scope of a home inspection. An evaluation of the breaker(s) to determine their acceptability is recommended to be performed by a licensed electrical contractor, with replacement of breakers made as needed, if needed.

### Electrical Outlets:

#### *General:*

Regular testing of GFCI's and AFCI's using the built-in test function is recommended.

## **HEATING - AIR CONDITIONING 7.0**

### Heating Equipment 1 :

#### *General Operation & Cabinet:*

Recommend yearly servicing and maintenance by a qualified service technician.

#### *Condensate Line:*

#### **CONDENSATE DRAIN**

It is recommended to have the Condensate drain for the air handler directed away from the house. The drain is too close the exterior wall and allows moisture at the wall/footing areas. Recommend to have at least 36" from exterior foundation wall/ slab.

### Heating Equipment 2 :

#### *General Operation & Cabinet:*

Recommend yearly servicing and maintenance by a qualified service technician.

#### **CORROSION INSIDE FURNACE**

Corrosion inside of the furnace may indicate that there is a condensate leak from the evaporator coil. This condition may affect the operational lifespan of the equipment.

*Condensate Line:*

the HVAC systems condensate drain terminates above the roofline, discharging directly into the gutter. From there, the water follows the same path as rain runoff, flowing through the downspout and dispersing onto the ground near the foundation. While this setup allows the condensate to exit the structure, it does pose a risk during freezing temperatures, as water in the gutter system can freeze and potentially back up into the drain line. Relocating the condensate discharge to a more protected, ground-level location is recommended to help prevent freeze-related issues.

#### IMPROPER CONDENSATE DRAIN LINE

The installed condensate drain line on the HVAC unit is improperly installed. The line must be provided with a trap and a clean out. Recommend correction to the drain line from qualified HVAC professional.

Periodic checking to make sure that the line is clear will help maintain the system

#### NO SECONDARY DRAIN

No auxiliary drain line. Recommend adding a shut off switch or directing the condensate to the outside or pan below the unit. If the primary is plugged up then the condensate will run out of the sides of the unit and can damage the flooring or if on the second floor or attic, then damage to the ceiling and possibly furniture and flooring.

Air Conditioning 1:

*Fuel Source:*

disconnect cover is loose, broken attachment- recommend securing and/or upgrading to metal disconnect

The breaker protecting the exterior HVAC unit was oversized by 5 amps. Typically no repercussions will occur by oversizing the breaker by 5 amps, but oversizing it by 10 amps or more can allow for the breaker not to trip when needed and cause damage to the system. Replacement of the breaker with one of the proper size is recommended to be conducted by a licensed electrician.

*System Condition:*

Recommend keeping the condenser unit fins clean and free of dirt and debris.

Recommend yearly service and inspection by a qualified air conditioning contractor

Refrigerant suction line is exposed and needs pipe insulation added at a minimal expense.

Air Conditioning 2:

*Fuel Source:*

disconnect cover is loose, broken attachment- recommend securing and/or upgrading to metal disconnect

*System Condition:*

Recommend keeping the condenser unit fins clean and free of dirt and debris.

Recommend yearly service and inspection by a qualified air conditioning contractor

Recommend keeping leaves and debris from accumulating behind the unit

Ductwork / Distribution:

Ducts / Air Supply:

Clean Your Ducts Every 3 to 5 Years: As a rule of thumb, the National Air Duct Cleaners Association (NADCA) suggests cleaning your ducts every 3 to five 5. More often if in dusty conditions.

Air Intake/Filters:

It is recommended that disposable filter(s) be cleaned or changed out every 30 - 45 days for best performance

**PLUMBING SYSTEM 8.0**

Waste Lines:

Condition:

PVC/ABS - IMPROPER HANGERS

There were improper supports and/or hangers used to secure the drain and waste pipes. Improper supports can allow for abrasion of the pipes due to movement and thermal expansion as well as not preventing uplift. Repairs to incorporate proper materials as needed to properly support the pipes is recommended to be conducted by a licensed plumbing contractor.

- A flexible support, such as wire, should not be used to support plastic drain lines. Instead, use a notched "1-by" wrapped with a rubber backing.

Soild hangers resist upward thrust and vibration, thereby providing a more secure support, while also helping quite drain line. Wrap the pipe ends with insulation at each pipe support to further damper vibration

Water Heater:

Age/Capacity:

PAST or NEARING END OF DESIGNED LIFE

Water heater is past or nearing the end of the typical lifespan of eight to twelve years. Normal signs of wear and tear were present and although functioning as intended at the time of the inspection, it is unable to be determined when the water heater will fail. Recommend monitoring it's effectiveness and replacing when needed.

The typical life expectancy of a water heater is approximately 8 to 12 years

Condition:

NO EXPANSION TANK 2012

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install. Even if not required, these are a good investment to prevent potential problems.

*Water Heater Insulation Jacket:*

No

-No Blanket wrap installed

- Recommended - An insulation blanket wrap for the water heater is suggested. Up to 50% of the energy for the water heater is used to replace standby losses, of which 10 - 25% are at the tank.

Sump Pump:

*Type / Condition:*

- Recommended Maintenance: Sump pumps should be inspected annually, and the basin should be cleaned out to prevent clogs and ensure the pump is working properly

A high water level alarm is recommended at the basement sump pump

**KITCHEN - APPLIANCES 9.0**

Kitchen Interior:

*Oven:*

RANGE / OVEN ANTI-TIP BRACKET NOT INSTALLED

The range could tip forward. An anti-tip bracket may not be installed. This is a potential safety hazard since the range can tip forward when weight is applied to the open door, such as when a small child climbs on it or if heavy objects are dropped on it. Anti-tip brackets have been sold with all free-standing ranges since 1985. Recommend installing an anti-tip bracket to eliminate this safety hazard.

*Ventilation:*

EXHAUST SYSTEM NOT INSTALLED

No exhaust system present to prevent moisture, grease, and/or smoke from building up in kitchen area. Recommend qualified contractor install range hood or exhaust system.

*Dishwasher:*

The dishwasher drain line is not secured in a high loop configuration. This is a potential safety hazard because waste water can backflow into the dishwasher, and can also siphon into the fresh water supply. Recommend attachment of drain line to underside of kitchen counter in a high loop to prevent backflow of drain water into dishwasher.

**BATHROOMS 10.0**

Master Bath:

*Caulking/Water Contact Area*

Water intrusion from bathtubs and shower enclosures is a common cause of damage behind walls, sub floors, and ceilings below bathrooms. As such, periodic re-caulking and grouting of tub and shower areas is an ongoing maintenance task which should not be neglected.

Bathroom #2:

Caulking/Water Contact Area

Water intrusion from bathtubs and shower enclosures is a common cause of damage behind walls, sub floors, and ceilings below bathrooms. As such, periodic re-caulking and grouting of tub and shower areas is an ongoing maintenance task which should not be neglected.

**INTERIOR ROOMS 11.0**

Stairs & Handrails:

Condition:

TEMPERED / SAFETY GLASS NOT INSTALLED

Windows adjacent to stairs and ramps, Windows above bathtub

Windows are present that do not have tempered glass or safety glazing. According to current industry standards, tempered / safety glass is required for windows in specific hazardous locations. Most windows that are tempered are etched with identifying markings. If these markings are not present, the window is likely not tempered, which presents a potential safety hazard. We have identified the windows of concern in the photographs and the location descriptions. Consult with a window company to make any desired repairs or upgrades deemed necessary.

Smoke / Fire Detector:

Comments:

The Consumer Product Safety Commission recommends all smoke and carbon dioxide detectors be replaced every 10 years. Even if the home is new or the detectors have been replaced in the last 10 years, replacement will always be recommended, especially with a previously occupied home.

It is recommended that smoke alarms be installed in every living space, and within 10 feet of living spaces to include living rooms, bedrooms, and hallways. General rule of thumb is you can never have too many

Smoke Alarm Locations:

The minimum requirement of a smoke alarm in each bedroom and in the hallway near the bedrooms is widely known. What constitutes "near" the bedrooms is open to interpretation. The Word " near " has seen distances ranging between 10 and 40 feet. Bedrooms located in different parts of a home should have a smoke alarm in the hallway near each bedroom area. A smoke alarm should be installed not less than three feet horizontally from the door of a bathroom containing a tub or a shower. Anyone singing in the shower needs to hear the alarm, too. At least one smoke alarm is required on each story, including basements and habitable attics, but not including crawl spaces and uninhabitable attics. In fact, smoke alarms and carbon monoxide alarms shouldnt be installed in crawl spaces and attics because the alarms don't function properly in these dirty and unconditioned environments

**SMOKE DETECTOR(S) - DISCOLORED**

There were smoke detector(s) present that were "yellowed" in color. This is typically an indicator that the detector(s) are past 10 years of age. Multiple sources recommend replacing smoke detectors every five to ten years.

Carbon Monoxide Detector:

Comments:

The Consumer Product Safety Commission recommends all smoke and carbon dioxide detectors be replaced every 10 years. Even if the home is new or the detectors have been replaced in the last 10 years, replacement will always be recommended, especially with a previously occupied home. Carbon dioxide detectors should be installed be in dwelling units which have fuel-fired appliances and/or have an attached garage. They must be located in the immediate vicinity of the bedrooms; in areas of the dwelling that are adjacent to an attached garage; and in areas adjacent to a fuel-burning appliance.

Pest / Insect / Wildlife Concerns:

Conducive Conditions:

Wood and wood products against the exterior of the home such as landscaping timbers , old post , etc should be removed as these items can promote insect and pest infestation in and around the structure

Radon Mitigation

Radon Snap-shot

**Radon Snapshot**

A short term radon sample was measured during the home inspection. This is not an official 48-hour test but just a measure of the level at the time of the inspection. Radon levels can increase or decrease hour by hour and day by day, so a longer test period is needed to be more certain of the average radon level in this home. This RADON SNAPSHOT™ measured at **5.05 pCi/L**, was below the EPA recommended limit of 4.0 pCi/l. The EPA recommends that an official 48+ hour test be done on every home to determine if the average daily level is above their recommended limit.

**LAUNDRY AREA 13.0**

Laundry:

Clothes Washer:

NO DRIP PAN FOR WASHING MACHINE

There was no drip pan or drainage installed for a laundry room washing machine on a finished floor of the home. Lack of a drip pan may allow a leaking clothes washer to damage home materials.

**POOL/SPA & EQUIPMENT**

Pool Surface:

Condition:

The pool has debris present along the surface and bottom, indicating that cleaning and maintenance are needed. Accumulated leaves and sediment may affect water quality if not addressed. Professional cleaning and rebalancing of the water chemistry are recommended to restore optimal swimming conditions.

Hand Railings:

Condition:

some rusting noted on ladder.

Visible Plumbing Line:

Condition:

SAND FILTER MEDIA AGE UNKNOWN

The age and condition of the sand media is unknown and requires periodic replacement. Inquire about receipts when last replaced. Have replaced as needed.

VALVES AND FLOW IS NOT LABELED

All valves and pipes should be identified and labeled for function and direction of flow.

PVC PIPING SHOULD BE PAINTED.

PVC can be damaged by sunlight and should be painted or coated for UV protection.

Pool Decking:

*Type & Condition:*

Minor settlement cracks are noted at several locations.

-Depth markings not noted at pool edge areas. Recommend clear and proper marking for improved safety.

*Child Protection Fencing:*

Check with the local town Building Department as to fencing requirements with regard to the swimming pool.

- Door alarms should be installed to protect the pool area from entry by young children.

The gates should be repaired and equipped with hardware to make them self-closing and latching.

Pool Enclosure Or Fencing:

*Overall Condition:*

NO SELF-CLOSING GATE (SAFETY)

All pedestrian access gates should open outward away from the pool and should be self-closing and have a self-latching device. Where the release mechanism is located less than 54 inches from the bottom of the gate. A second release mechanism should be located on the poolside of the gate at least 3 inches below the top of the gate.

DOOR ALARMS ARE NOT INSTALLED.

All doors that lead to the pool area should be protected with door alarms and should be self latching. Recommend Having alarms installed.

Spa/Hot Tub:

*Cover:*

cover is older / damaged and in need to repairs / replacement

**ELECTRICAL SYSTEM**

Electrical Outlets:

*Second Floor:*

Painted over outlet(s) noted- recommend replacing

**INTERIOR ROOMS**

Doors:

*Bedroom #3:*

INTERIOR DOORS - HINGE PINS LOOSE

Loose door hinge pins should be better secured.

## **BATHROOMS**

### Sink & Drain:

#### *Bathroom #2:*

A flex drain pipe was present. Flex drain pipes are not recommended as they may clog more often and affect water drain flow. Current standards call for smooth walled drain pipes only. Replacement of the flex pipe(s) is recommended to be conducted by a licensed plumber.

### Toilet:

#### *Master Bath:*

Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases leaving a one inch gap to allow for visual of a leak per standard building practices.

- Recommend caulking around toilet base leaving a gap of about an inch to 1 1/2 inches to allow for visual when leakage is occurring

#### *Bathroom #2:*

Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases leaving a one inch gap to allow for visual of a leak per standard building practices.

- Recommend caulking around toilet base leaving a gap of about an inch to 1 1/2 inches to allow for visual when leakage is occurring

### Tub Fixtures:

#### *Master Bath:*

Jetted Tub - NO access panel present

No motor / plumbing access panel was noted for the jetted tub. an access panel is recommended for future servicing of the motor as well as electrical and plumbing components.

### Tub And Walls:

#### *Master Bath:*

Caulk and seal all tub and shower areas as a precaution.

### Tub/Shower Fixtures:

#### *Master Bath:*

Sealant maintenance is recommended around tubs, showers and sink fixtures to prevent moisture intrusion

### Tub/Shower And Walls:

#### *Master Bath:*

- Keep walls / seams / joints caulked and sealed to prevent moisture damage - Caulk and seal all tub and shower areas as a precaution.

Bath Ventilation:

*Master Bath:*

The fan in this area is minimal as fan appears to have a weak draw. Humidity buildup can lead to mold or other damage over time. Recommend repairing or installing an exhaust fan that exhausts directly to the exterior of the home.

Laundry Ventilation:

*Laundry:*

None- There is no exhaust fan or window in this laundry area. Current building standards require either an exhaust fan or window for ventilation. Consideration should be given to the installation of either.

**IMPORTANT:** This Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report. The entire Inspection Report, including the Standards of Practice, limitations and scope of Inspection, and Pre-Inspection Agreement must be carefully read to fully assess the findings of the inspection. This list is not intended to determine which items may need to be addressed per the contractual requirements of the sale of the property. Any areas of uncertainty regarding the contract should be clarified by consulting an attorney or real estate agent.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding these or other items in the inspection report or the home, please feel free to call us.

Sincerely,

*Precision Home Inspections Plus, LLC*

*Thomas Wolfe CMI*

Certified Master Inspector®

VA DPOR# 3380001478

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NC # 4990

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